

4499 WALKER ROAD

4499 WALKER RD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989



ISSUED FOR DEVELOPMENT & BUILDING PERMIT
2024-09-16

ARCHITECTURAL

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A2.01	SITE PLAN & ZONING	A3.14	CENTER UNIT PLANS
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No.	Date	Revision
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DRAWING SYMBOL LEGEND:	
	ROOM NUMBER ROOM NAME
	DOOR NUMBER CORRESPONDS TO ROOM NUMBER
	BUILDING SECTION SYMBOL: SECTION NUMBER DRAWING WHERE SECTION APPEARS
	WALL SECTION SYMBOL: SECTION NUMBER DRAWING WHERE SECTION APPEARS
	DETAIL NUMBER: DRAWING WHERE DETAIL APPEARS
	WALL / ROOF / FLOOR CONSTRUCTION: REFER TO SCHEDULE
	WINDOW TYPE: REFER TO SCHEDULE
	GRIDLINES
	EXTERIOR ELEVATION KEY NOTES: REFER TO SCHEDULE
	FURNITURE: NOT IN CONTRACT (N.I.C.) REFER TO FURNITURE LEGEND (IF APPLICABLE)
	MILLWORK: REFER TO ID BUILT-IN MILLWORK OVERHEAD CABINET LOWER CABINET

FLOOR / CEILING PLAN ABBREVIATION & SYMBOL LEGEND:	
	FLOOR DRAIN: REFER TO MECH
	NON-FREEZE HOSE BIB: REFER TO MECH
	LIGHT FIXTURES & SWITCHES: REFER TO ELEC
	SMOKE DETECTORS: REFER TO ELEC
	RAIN WATER LEADER / SANITARY: REFER TO MECH.
	DOWN SPOUT: REFER TO SPEC.

TEXT ABBREVIATIONS LEGEND:	
V.O.S.	VERIFY ON SITE
C/W	COMPLETE WITH
T/O	TOP OF
U/S	UNDERSIDE OF
A.F.F.	ABOVE FINISHED FLOOR
U.N.O.	UNLESS NOTED OTHERWISE
P.F.	PRIVACY FILM
O.S.C.I.	OWNER SUPPLIED, CONTRACTOR INSTALLED
O.S.O.I.	OWNER SUPPLIED, OWNER INSTALLED
TBD	TO BE DETERMINED

FLOOR ASSEMBLY TYPES:	
	CONCRETE SLAB ON GRADE: -FLOOR FINISH - REFER TO FINISH PLANS -REINFORCED CONCRETE SLAB - REFER TO STRU -6 MIL VAPOUR BARRIER SEALED @ PERIMETER PER RADON CONTROL REQ'S - REFER TO MECH. -100mm COURSE GRANULAR RADON CONTROL MATERIAL - REFER TO GEOTECH -ROUGH GRADED BUILDING PAD - REFER TO CIVIL/ GEOTECH ALL RADON CONTROL ELEMENTS TO CONFORM TO BCBC 9.16.2.1 ADD 2" R12 RIGID INSULATION @ PERIMETER WHERE SLAB MEETS FOUNDATION WALL
	TYP. SUSPENDED WOOD FLOOR: -FLOOR FINISH - REFER TO FINISHES PLAN -5/8" PLYWOOD SHEATHING - -11 7/8" FLOOR JOISTS - -1 LAYERS 1/2" GYPSUM WALLBOARD
	WOOD FLOOR OVER UNCONDITIONED SPACE: -FLOOR FINISH - REFER TO FINISHES PLAN -5/8" PLYWOOD SHEATHING - REFER TO STRU -11 7/8" FLOOR JOISTS - REFER TO STRU -6" POLYURETHANE SPRAY FOAM INSULATION BETWEEN JOISTS -1 LAYERS 1/2" GYPSUM WALLBOARD

FLOOR ASSEMBLY TYPES:	
	WOOD DECK: - DECK MEMBRANE - 5/8" PLYWOOD SHEATHING - 2x_ WOOD JOISTS (TAPERED TO SLOPE MIN 2% TO DRAIN) - 1/2" PREFIN. ALUM VENTED SOFFIT
	WOOD DECK ABOVE CONDITIONED SPACE: - DECK MEMBRANE - 5/8" PLYWOOD SHEATHING - 2x_ WOOD JOISTS (TAPERED TO SLOPE MIN 2% TO DRAIN) - 11 7/8" FLOOR JOISTS - 6" POLYURETHANE SPRAY FOAM INSULATION BETWEEN JOISTS - 1 LAYERS 1/2" GYPSUM WALLBOARD

ROOF ASSEMBLY TYPES:	
	FLAT ROOF: -ROOF MEMBRANE -5/8" EXTERIOR GRADE T&G PLYWOOD SHEATHING - REFER TO STRU -PRE-ENGINEERED TRUSSES -MIN. 6" AIRSPACE FOR VENTING -R-44 FIBREGLASS INSULATION -6 MIL POLY VAPOUR BARRIER -1 LAYERS 1/2" GYPSUM WALLBOARD NOTE: AT UPPER ROOF DECK - ADD PAVER ON PEDESTAL SYSTEM
	FLAT ROOF @ COVERED DECK: -ROOF MEMBRANE -5/8" EXTERIOR GRADE T&G PLYWOOD SHEATHING - REFER TO STRU -PRE-ENGINEERED TRUSSES -PREFINISHED ALUMINUM VENTED SOFFIT

EXTERIOR WALL ASSEMBLY TYPES:	
	CONCRETE FOUNDATION WALL: -DAMP PROOFING (APPLIED TO EXTERIOR) -8" C.I.P. CONCRETE FOUNDATION WALL
	EXTERIOR WALL: -REFER TO ELEVATIONS FOR CLADDING TYPE -VAPOUR PERMEABLE AIR BARRIER -1/2" EXTERIOR GRADE PLYWOOD SHEATHING -2x6 WOOD STUDS AT 16" O.C. (SEE STRU.) -R-22 GLASS FIBRE BATT INSULATION (MATCH STUD SIZE) -6 MIL POLY VAPOUR BARRIER -1 LAYER 1/2" GYPSUM WALLBOARD
	1 HR RATED EXTERIOR WALL: -REFER TO ELEVATIONS FOR CLADDING TYPE -VAPOUR PERMEABLE AIR BARRIER -1/2" EXTERIOR GRADE PLYWOOD SHEATHING -2x6 WOOD STUDS AT 16" O.C. (SEE STRU.) -R-22 GLASS FIBRE BATT INSULATION (MATCH STUD SIZE) -6 MIL POLY VAPOUR BARRIER -1 LAYER 5/8" TYPE X GYPSUM WALLBOARD
	EXTERIOR FURRING WALL: -REFER TO ELEVATIONS FOR CLADDING TYPE -VAPOUR PERMEABLE AIR BARRIER -1/2" EXTERIOR GRADE PLYWOOD SHEATHING -2x_ WOOD STUDS

INTERIOR WALL ASSEMBLY TYPES:	
	1 HR RATED PARTY WALL: - 2 LAYERS 5/8" TYPE X GYPSUM WALL BOARD - 2x4 WOOD STUDS @ 16" O.C. - ACOUSTIC BATT INSULATION TO MATCH STUD SIZE - MIN 1" AIR SPACE - ACOUSTIC BATT INSULATION TO MATCH STUD SIZE - 2x4 WOOD STUDS @ 16" O.C. - 2 LAYERS 5/8" TYPE X GYPSUM WALL BOARD WALL TYPE: W14a (BCBC 2018) STC RATING: 61 FRR PROVIDED: 1 HR

INTERIOR WALL ASSEMBLY TYPES:	
	1 HR RATED EXTERIOR PARTY WALL: - CEMENT FIBRE LAP SIDING - AIR BARRIER - 2 LAYERS 5/8" TYPE X EXTERIOR GRADE GYPSUM WALL BOARD - 2x4 WOOD STUDS @ 16" O.C. - ACOUSTIC BATT INSULATION TO MATCH STUD SIZE - MIN 1" AIR SPACE - ACOUSTIC BATT INSULATION TO MATCH STUD SIZE - 2x4 WOOD STUDS @ 16" O.C. - 2 LAYERS 5/8" TYPE X EXTERIOR GRADE GYPSUM WALL BOARD - AIR BARRIER - CEMENT FIBRE LAP SIDING WALL TYPE: W14a (BCBC 2018) STC RATING: 61 FRR PROVIDED: 1 HR
	4" PARTITION WALL: - 1 LAYER 1/2" GYPSUM WALL BOARD - 2x4 STUDS @ 16" O.C. - 1 LAYER 1/2" GYPSUM WALL BOARD
	6" PARTITION WALL: - 1 LAYER 1/2" GYPSUM WALL BOARD - 2x6 STUDS @ 16" O.C. - 1 LAYER 1/2" GYPSUM WALL BOARD
	6" INSULATED PARTITION WALL: - 1 LAYER 1/2" GYPSUM WALL BOARD - 2x6 STUDS @ 16" O.C. - FIBERGLASS BATT INSULATION TO FILL STUD CAVITY - 1 LAYER 1/2" GYPSUM WALL BOARD
	4" FURRING WALL: - 1 LAYER 1/2" GYPSUM WALL BOARD - 2x4 STUDS @ 16" O.C.
	6" FURRING WALL: - 1 LAYER 1/2" GYPSUM WALL BOARD - 2x6 STUDS @ 16" O.C.

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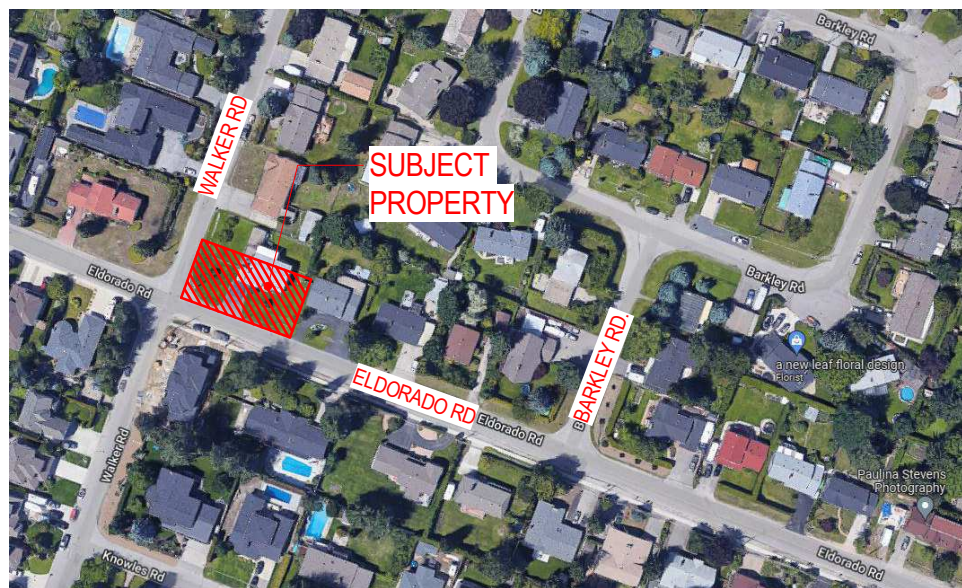
APPLICANT - PILLAR WEST DEVELOPMENTS

ZONING SUMMARY 4499 WALKER RD

ADDRESS	4499 WALKER RD, KELOWNA, BC V1W 1G8
LEGAL DESCRIPTION	LOT 6, DISTRICT LOT 167, PLAN KAP10989
DEVELOPMENT PERMIT AREA	N/A
EXISTING ZONING	RU2
PROPOSED ZONING	RU2 (NO CHANGE)
EXISTING LEGAL USE	SINGLE FAMILY HOME
PROPOSED LEGAL USE	THREE PLEX BUILDING

ZONING REQUIREMENTS MAIN BUILDING

	ZONING STANDARD	PROPOSED
FRONT SETBACK	3.0m	3.0m
SIDE SETBACK	1.5m	1.5m
FLANKING SIDE SETBACK	3.0m (IN S-RES ZONING)	3.0m
REAR SETBACK	3.0m	3.0m
PARCEL SIZE	-	497.8 SM (5,358 SF)
BUILDING HEIGHT	11m or 3 storeys	10.06m
LEVEL 1 PARCEL COVERAGE AREA	273.79sm (55%)	236.5sm
PARKING & PATIO COVERAGE	-	117.1sm (23.5%)
TOTAL PARCEL COVERAGE % (BUILDINGS ONLY)	55%	47.5%
TOTAL PARCEL COVERAGE % (BUILDINGS + IMPERMEABLE SURFACES)	75%	71%
LEVEL 3 AREA	70% OF LEVEL 2	LEVEL 2 = 275.6sm LEVEL 3 = 182sm 66%



LOCATION PLAN - N.T.S.

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Project Title

4499 WALKER ROAD



Drawing Title

SITE PLAN & ZONING

Drawing Number

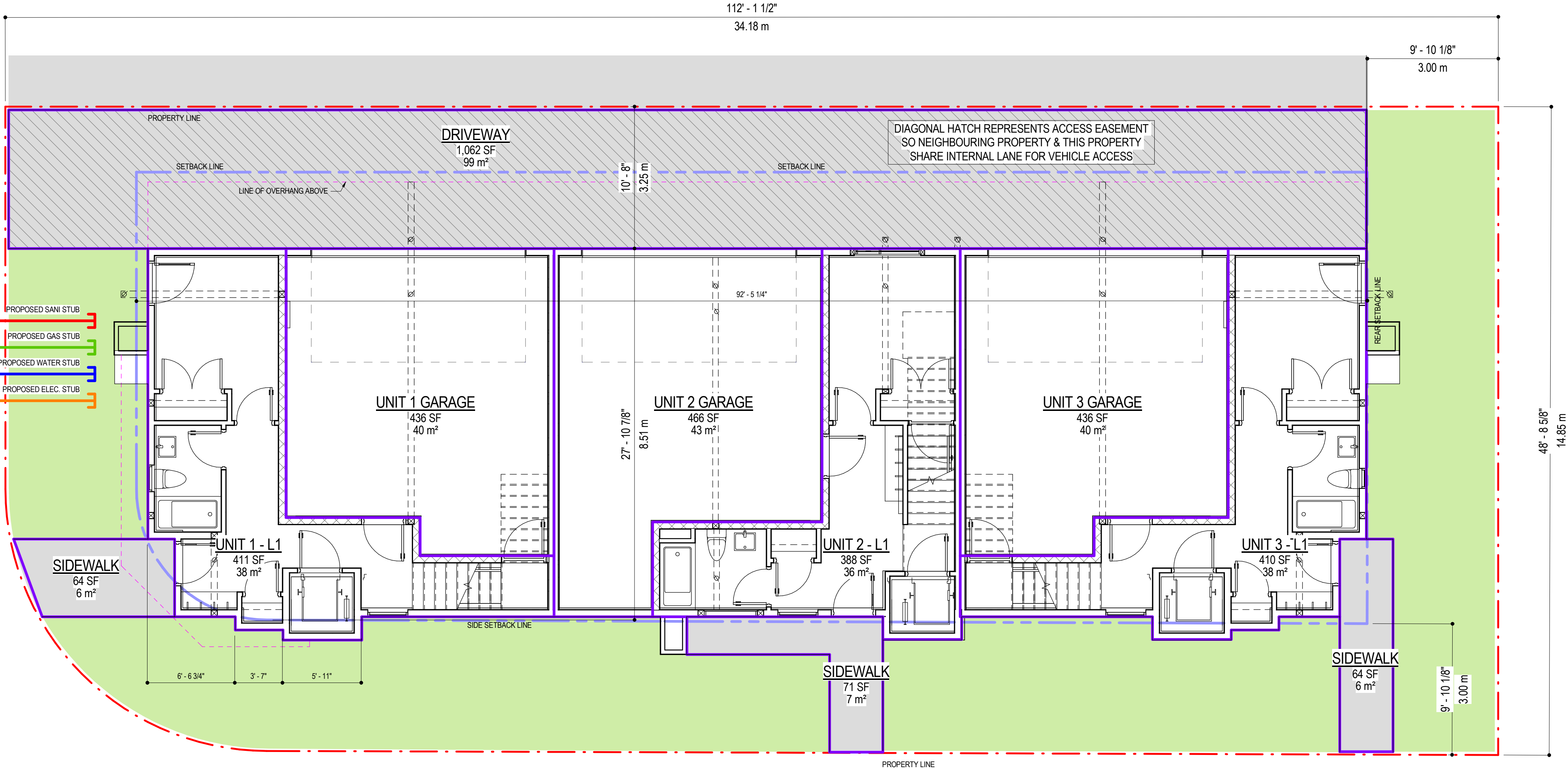
A2.01

Job No. 18 - 1816

Scale As indicated

WALKER RD

EXIST GAS LINE
EXIST STORM LINE
EXIST WATER LINE
EXIST ELEC. LINE



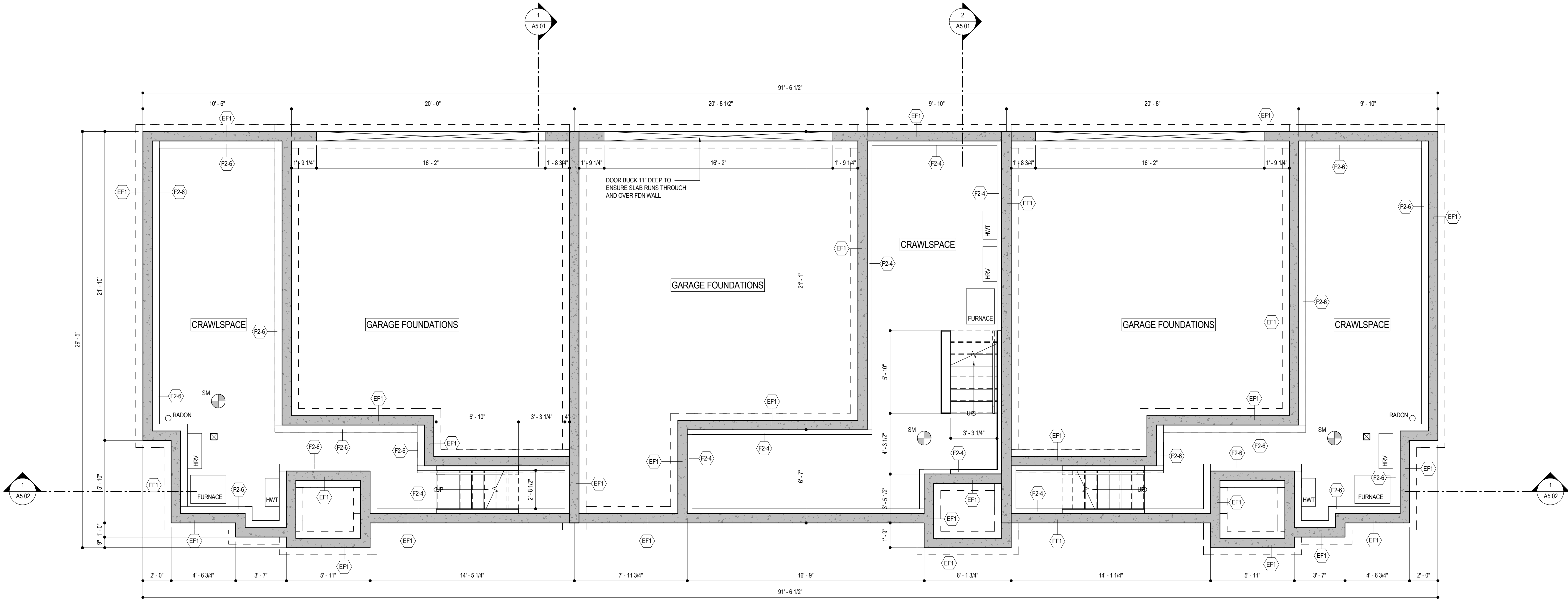
PARCEL SIZE		
Name	Area	Area (SM)
PARCEL SIZE	5,358 SF	497.8 m ²
	5,358 SF	497.8 m ²

PARKING AREA		
Name	Area	Area (SM)
SIDEWALK	64 SF	6.0 m ²
SIDEWALK	71 SF	6.6 m ²
SIDEWALK	64 SF	5.9 m ²
DRIVEWAY	1,062 SF	98.6 m ²
	1,261 SF	117.1 m ²

TOTAL BUILDING AREA		
Name	Area	Area (SM)
UNIT 1 - L1	411 SF	38.1 m ²
UNIT 1 - L2	992 SF	92.2 m ²
UNIT 1 - L3	647 SF	60.1 m ²
UNIT 2 - L1	388 SF	36.0 m ²
UNIT 2 - L2	982 SF	91.2 m ²
UNIT 2 - L3	660 SF	61.3 m ²
UNIT 3 - L1	410 SF	38.1 m ²
UNIT 3 - L2	992 SF	92.2 m ²
UNIT 3 - L3	653 SF	60.6 m ²
	6,133 SF	569.8 m ²

PARCEL COVERAGE AREA		
Name	Area	Area (SM)
UNIT 1 - L1	411 SF	38.1 m ²
UNIT 1 GARAGE	436 SF	40.5 m ²
UNIT 2 - L1	388 SF	36.0 m ²
UNIT 2 GARAGE	466 SF	43.3 m ²
UNIT 3 - L1	410 SF	38.1 m ²
UNIT 3 GARAGE	436 SF	40.5 m ²
	2,546 SF	236.5 m ²

1
A2.01 LEVEL 1 - SITE PLAN
3/16" = 1'-0"



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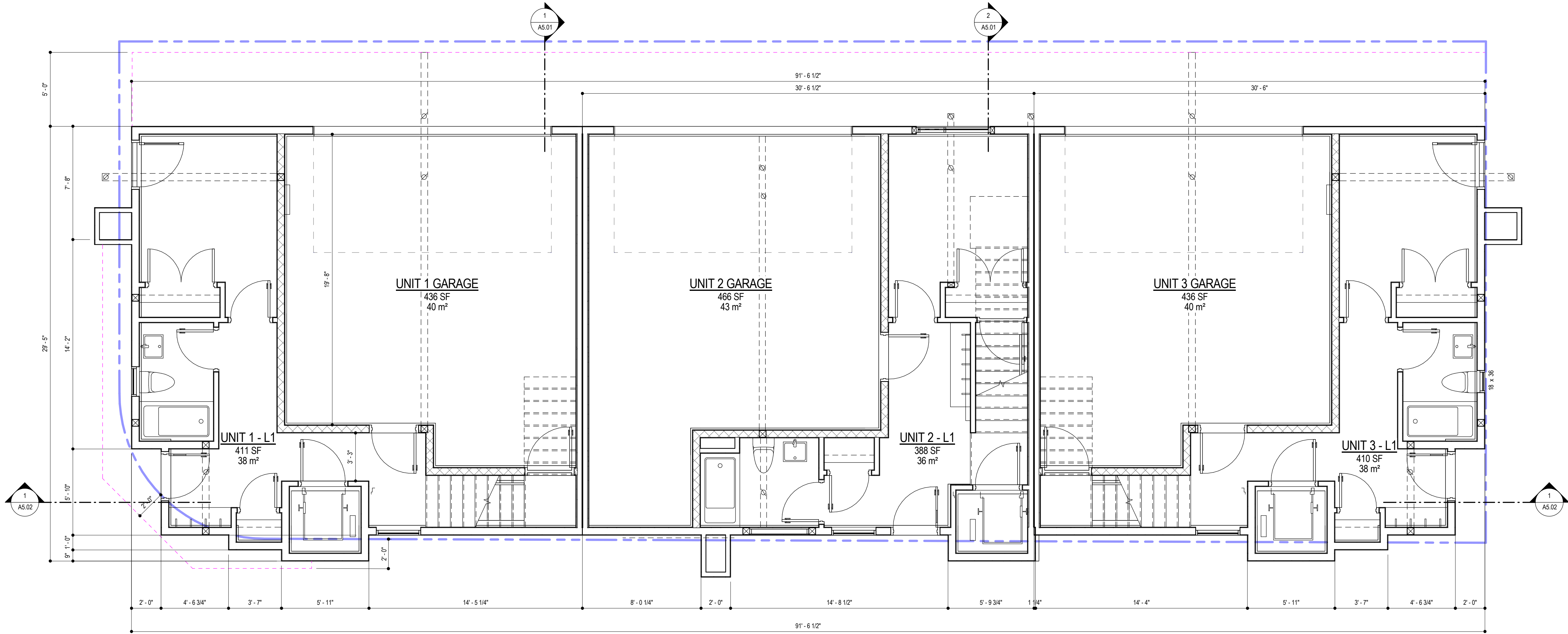


Project Title
4499 WALKER ROAD

Drawing Title
FOUNDATION PLAN

4499 WALKER RD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989

Drawing Number	A3.01
Job No.	18 - 1816
Scale	1/4" = 1'-0"



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APPLICANT - PILLAR WEST DEVELOPMENTS

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Project Title

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Drawing Title

LEVEL 1

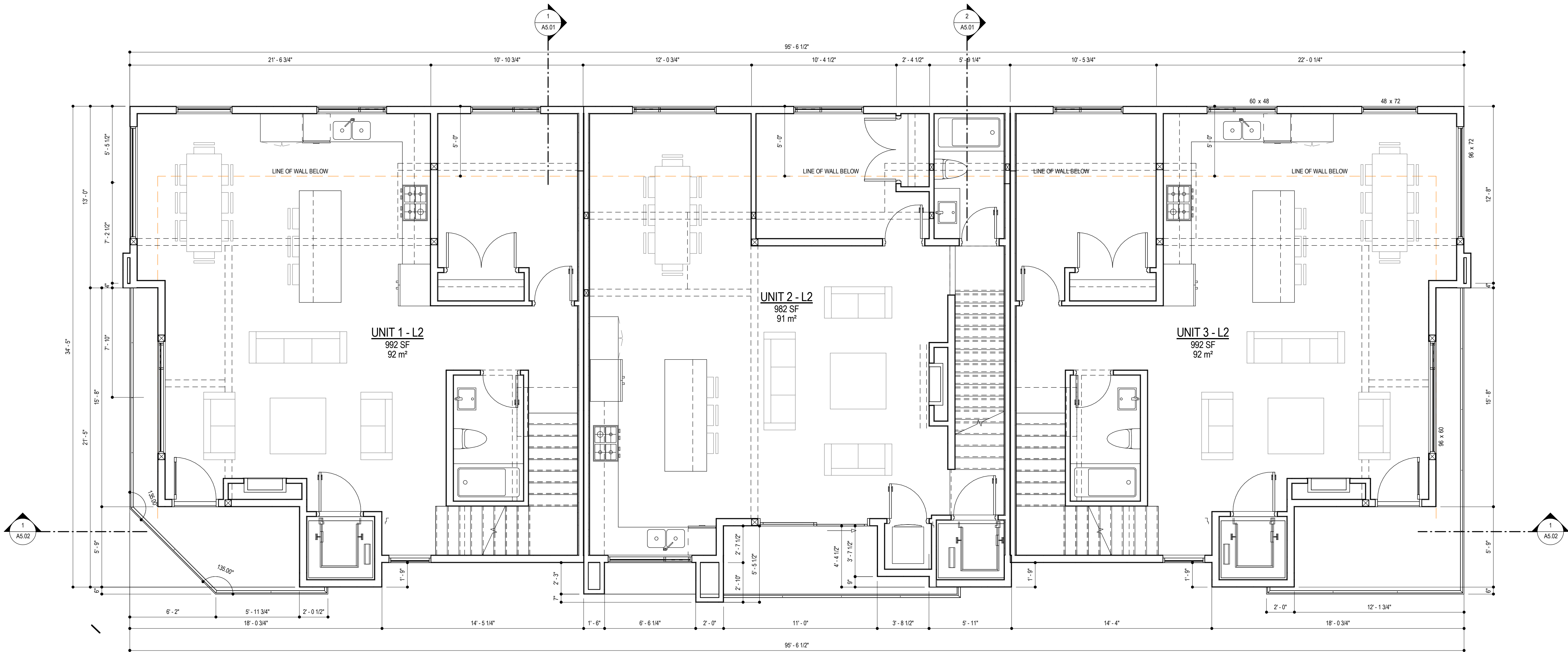
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LOT 6, DISTRICT LOT 167, PLAN KAP10989

Drawing Number

A3.02

Job No. 18 - 1816

Scale 1/4" = 1'-0"



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Project Title

4499 WALKER ROAD



Drawing Title

LEVEL 2

Drawing Number

A3.03

Job No. 18 - 1816

Scale 1/4" = 1'-0"

4499 WALKER RD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989

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Project Title
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Drawing Title

LEVEL 3

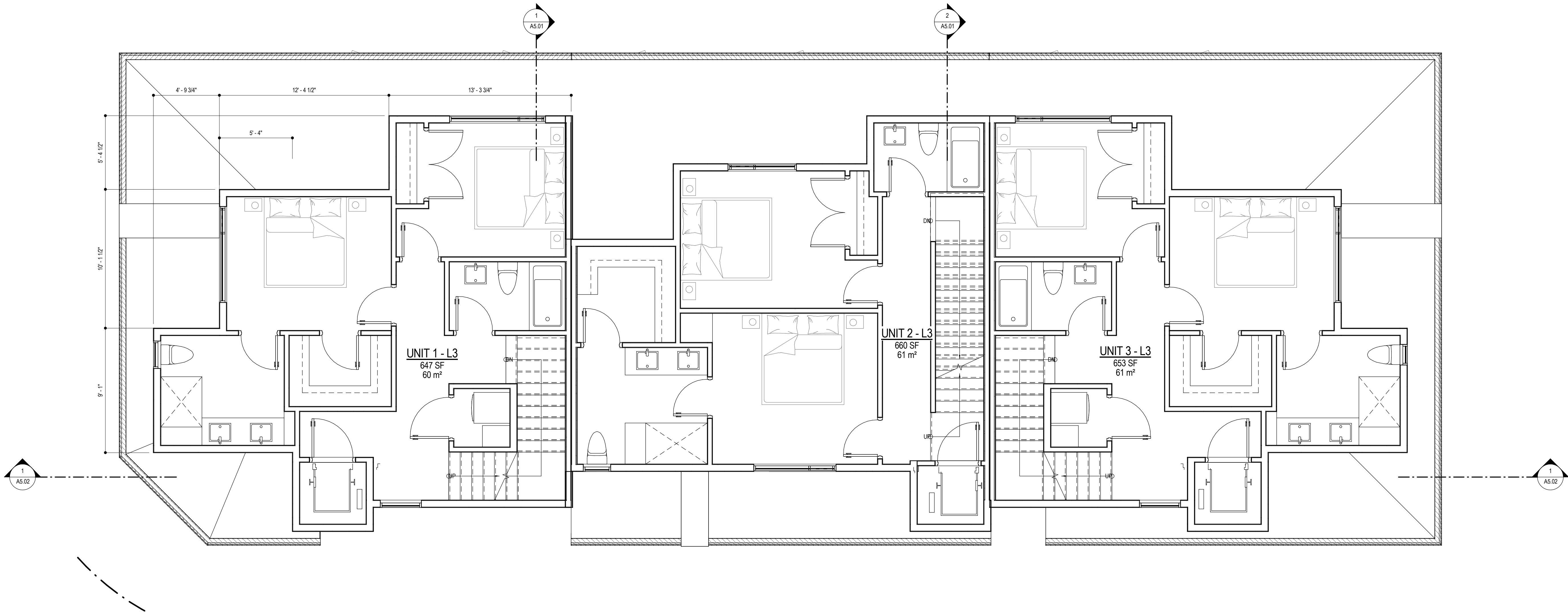
4499 WALKER RD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989

Drawing Number

A3.04

Job No. 18 - 1816

Scale 1/4" = 1'-0"



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Project Title
4499 WALKER ROAD

Drawing Title

ROOF PLAN

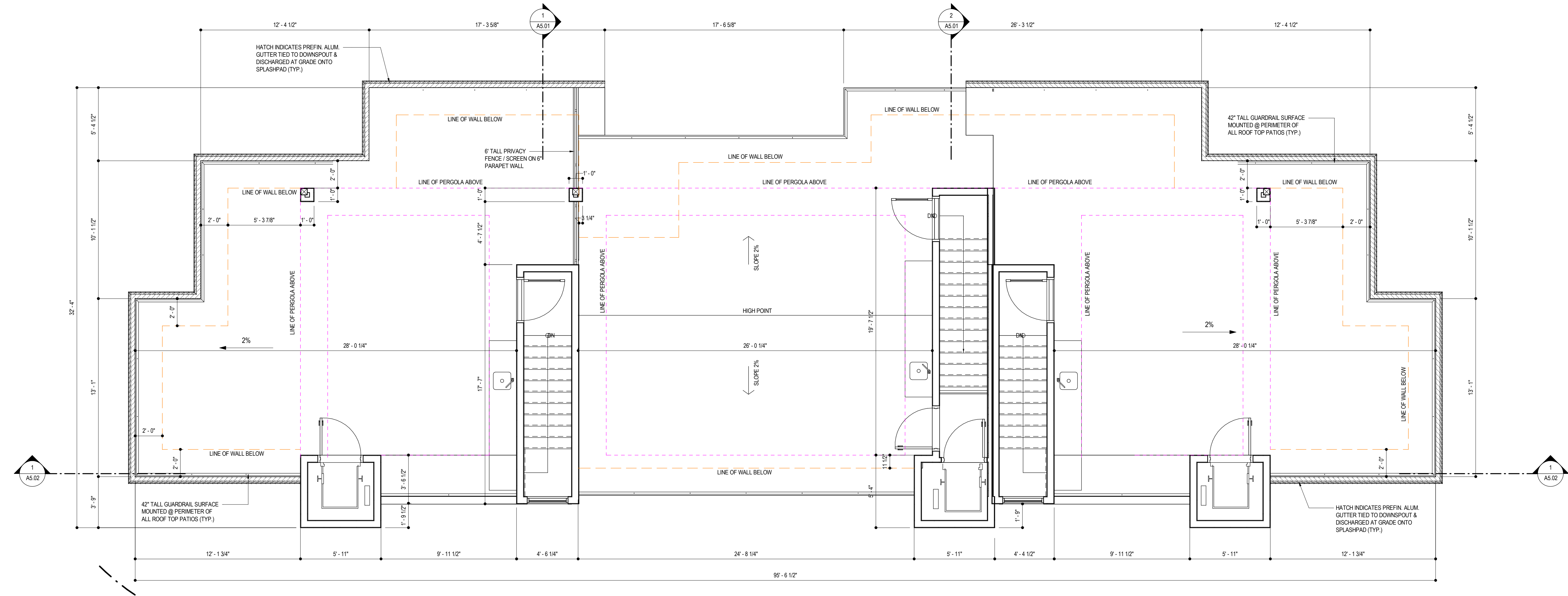
4499 WALKER RD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989

Drawing Number

A3.05

Job No. 18 - 1816

Scale 1/4" = 1'-0"



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Drawing Title

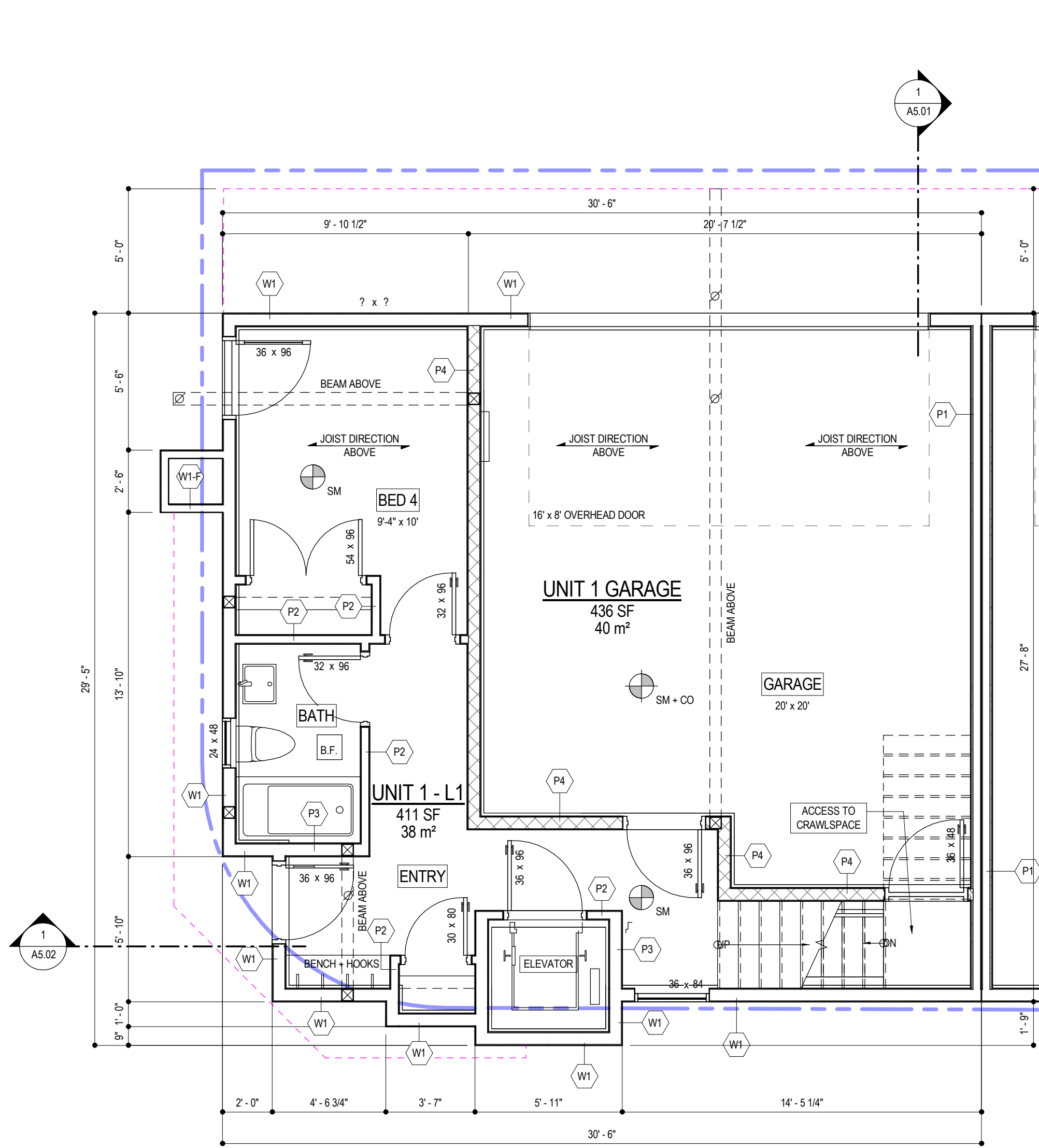
UPPER ROOF PLAN

4499 WALKER RD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989

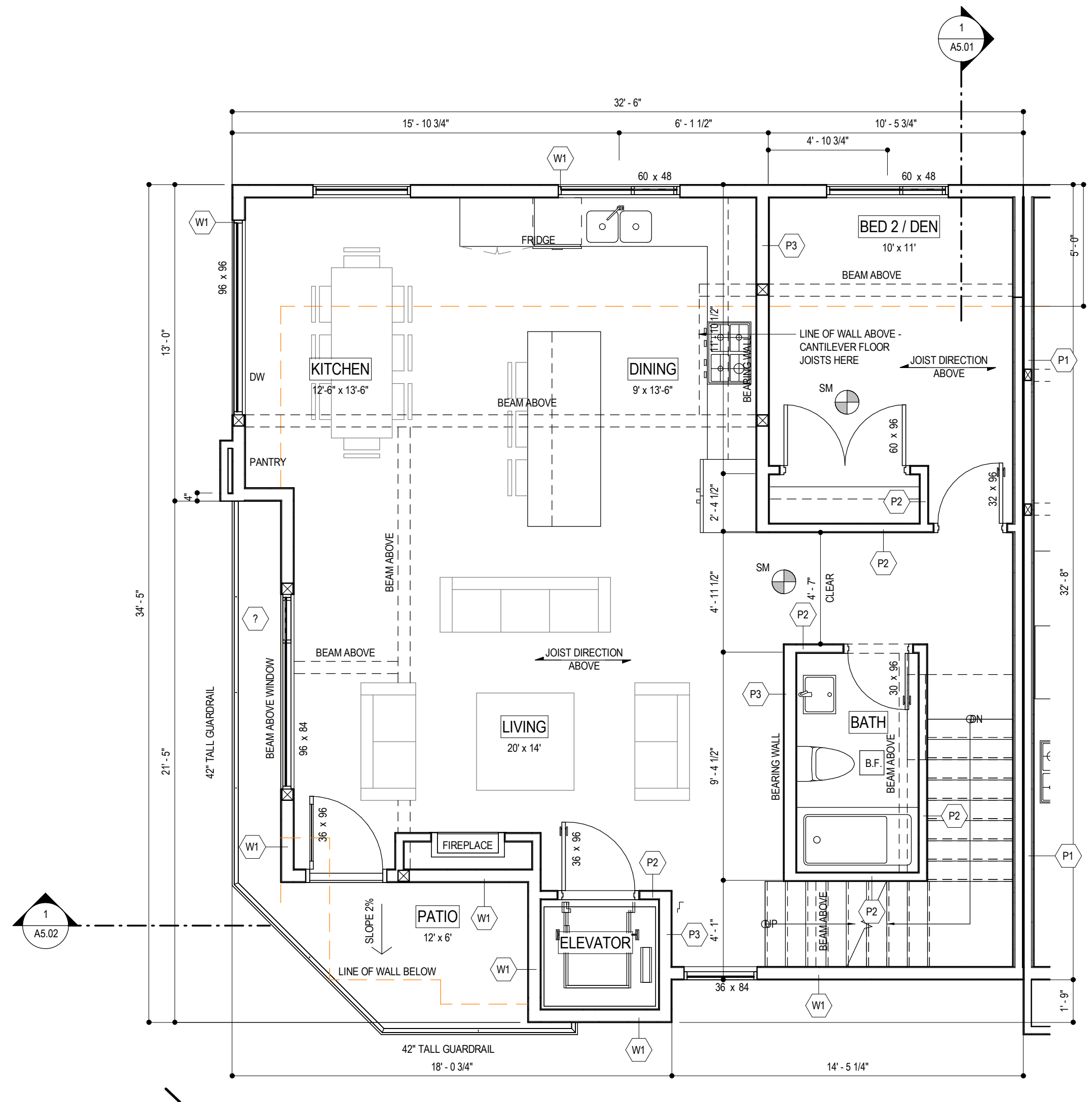
Drawing Number

A3.06

Job No. 18 - 1816
Scale 1/4" = 1'-0"



1
A3.11
END UNIT - L1
1/4" = 1'-0"



2
A3.11
END UNIT - L2
1/4" = 1'-0"

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Drawing Title

END UNIT PLANS

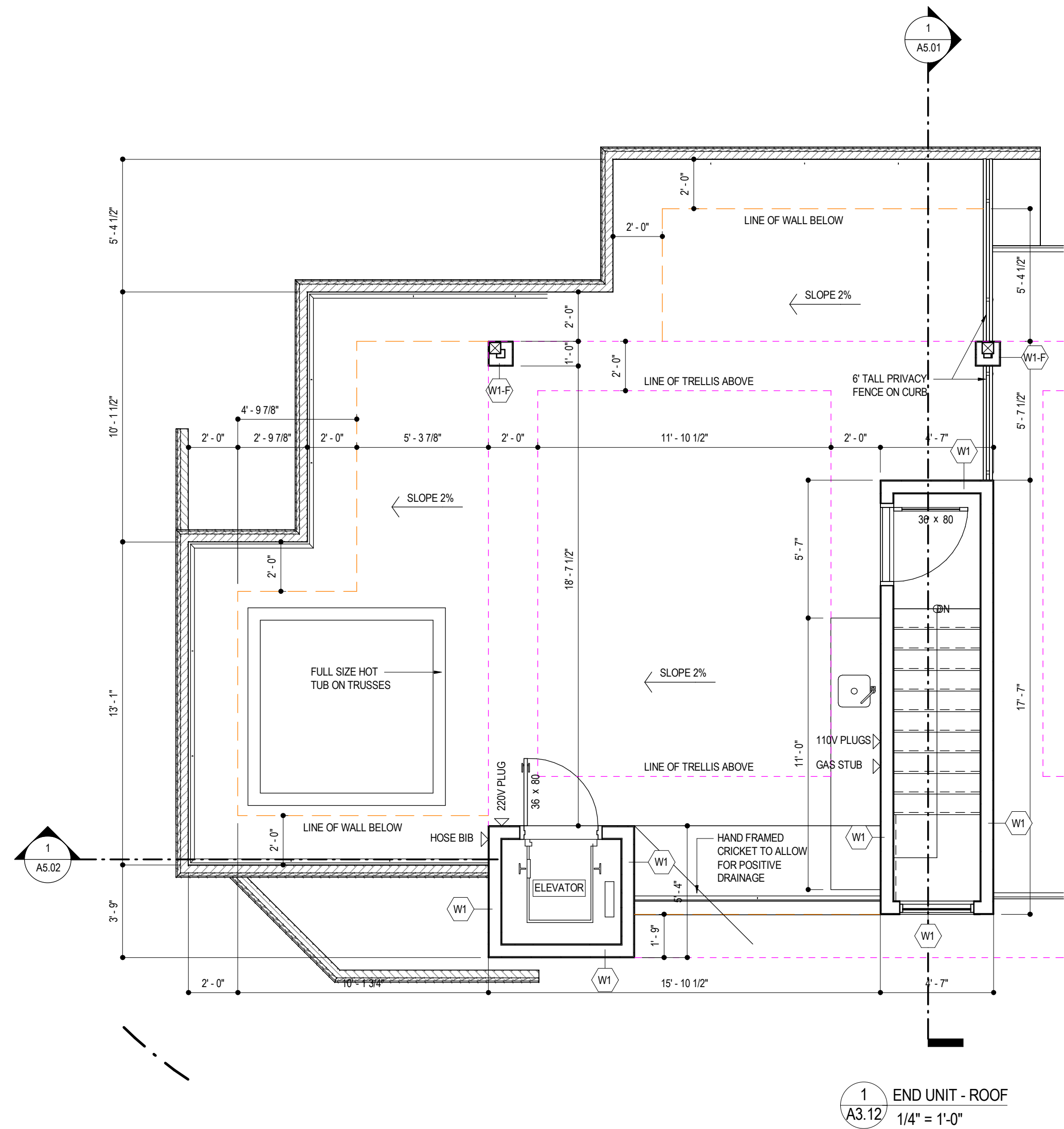
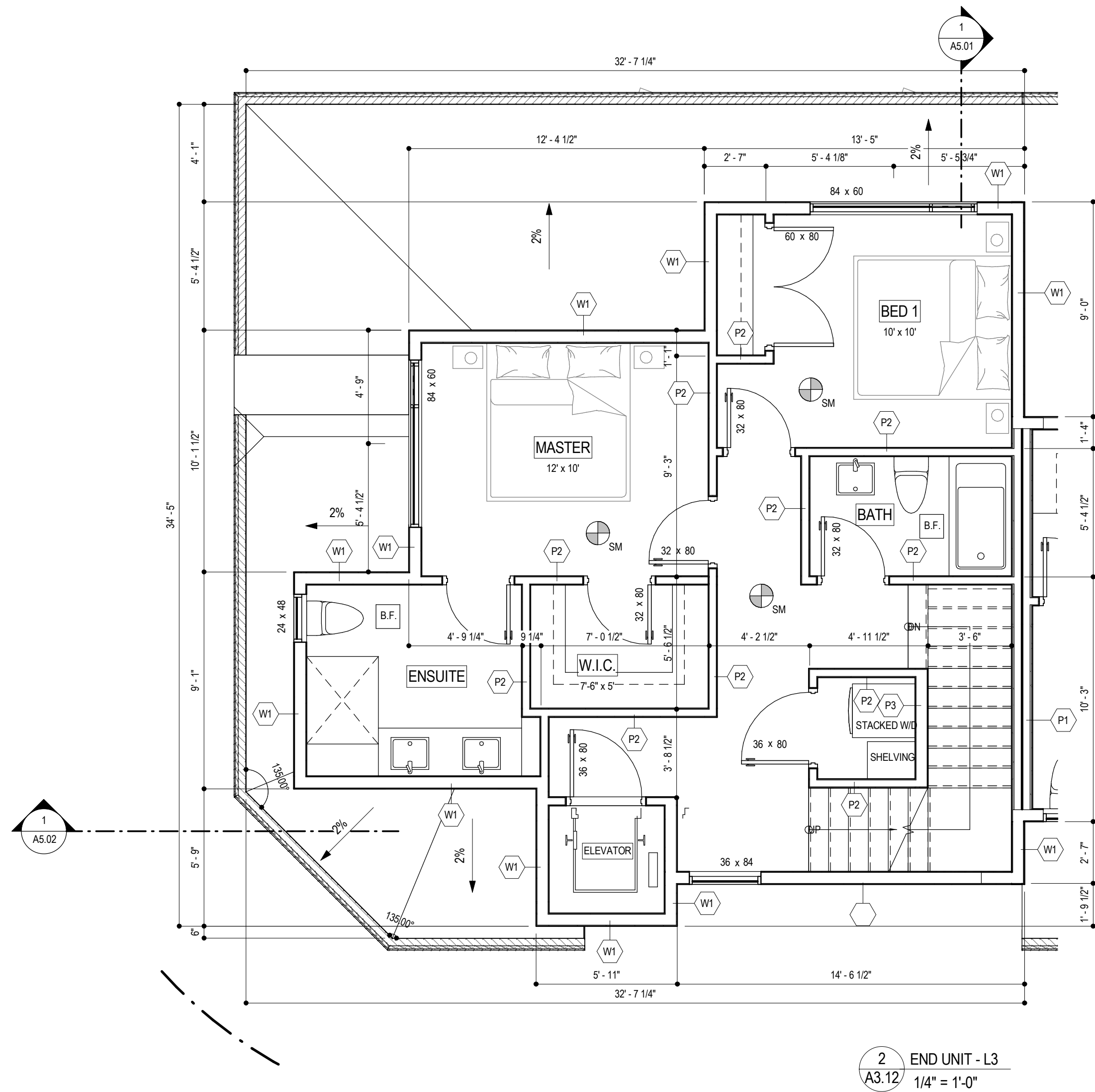
4499 WALKER RD, KELOWNA, BC V1W 1G8
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Drawing Number

A3.11

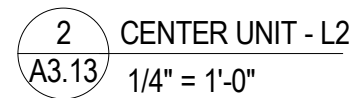
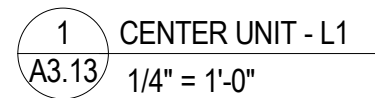
Job No. 18 - 1816

Scale 1/4" = 1'-0"



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4499 WALKER ROAD

Drawing Title

CENTER UNIT PLANS

4499 WALKER RD, KELOWNA, BC V1W 1G8
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Drawing Number

A3.13

Job No.	18 - 1816
Scale	1/4" = 1'-0"

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APPLICANT - PILLAR WEST DEVELOPMENTS

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Project Title
4499 WALKER ROAD

Drawing Title

CENTER UNIT PLANS

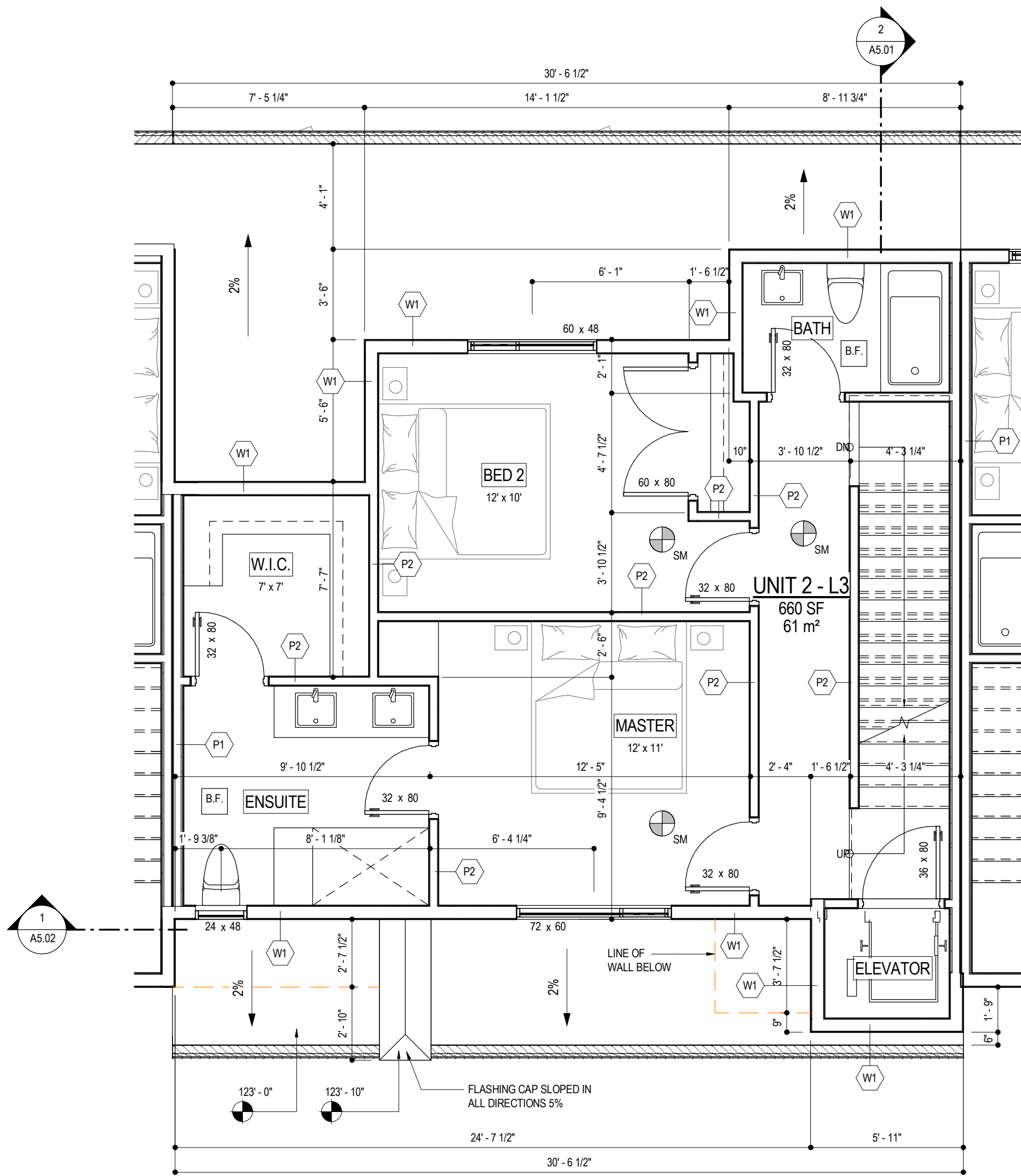
4499 WALKER RD, KELOWNA, BC V1W 1G8
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Drawing Number

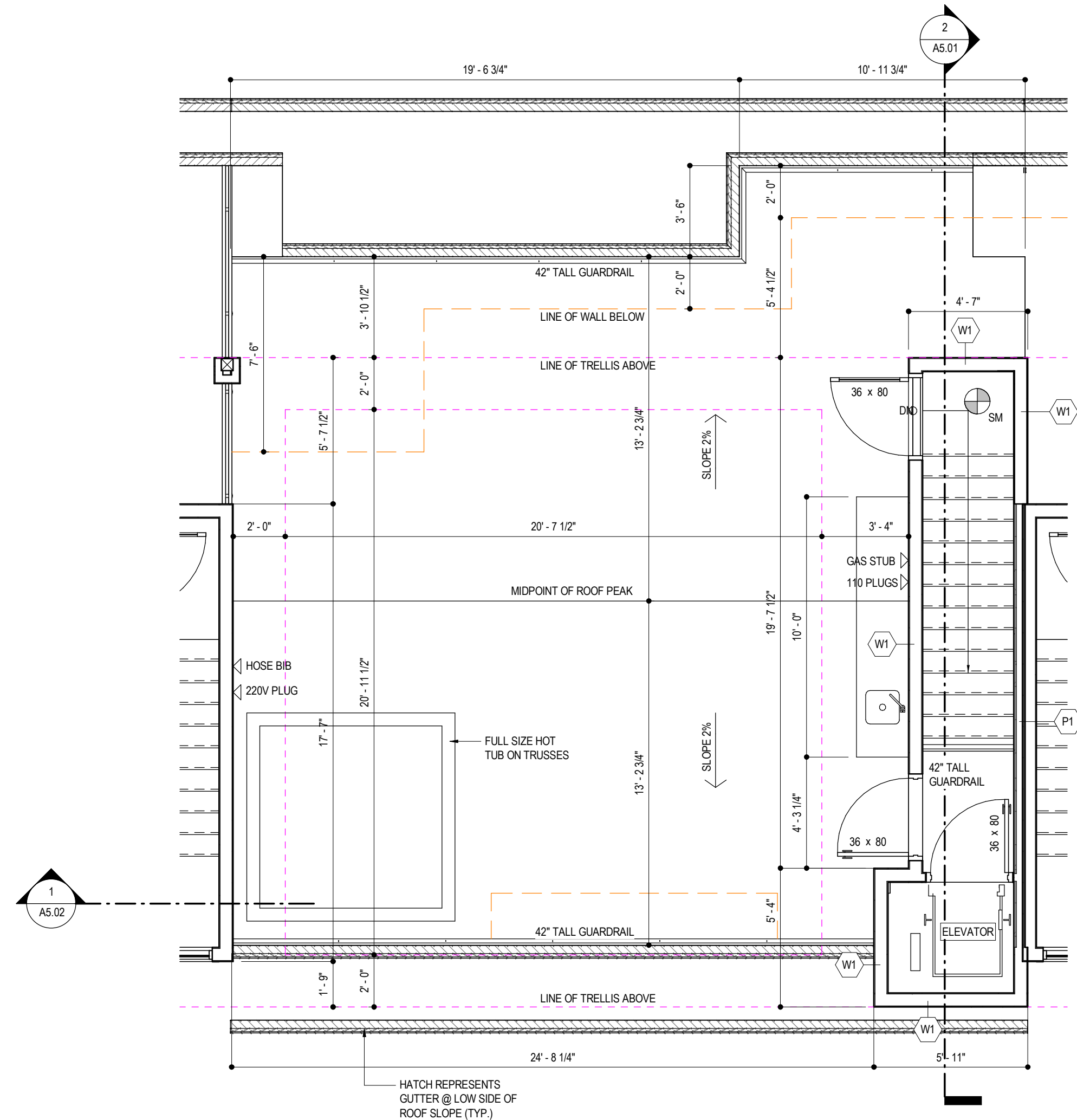
A3.14

Job No. 18 - 1816

Scale 1/4" = 1'-0"



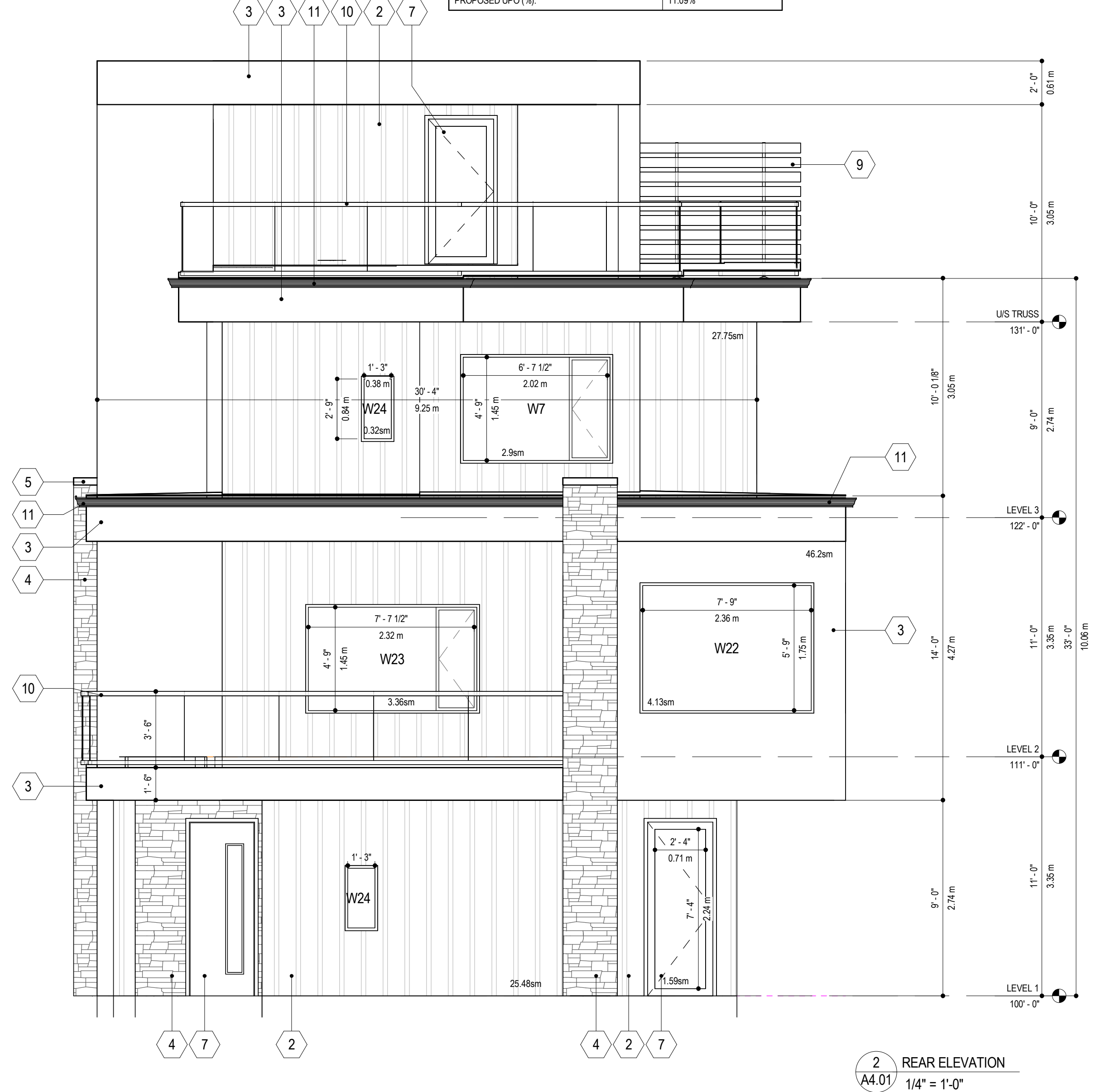
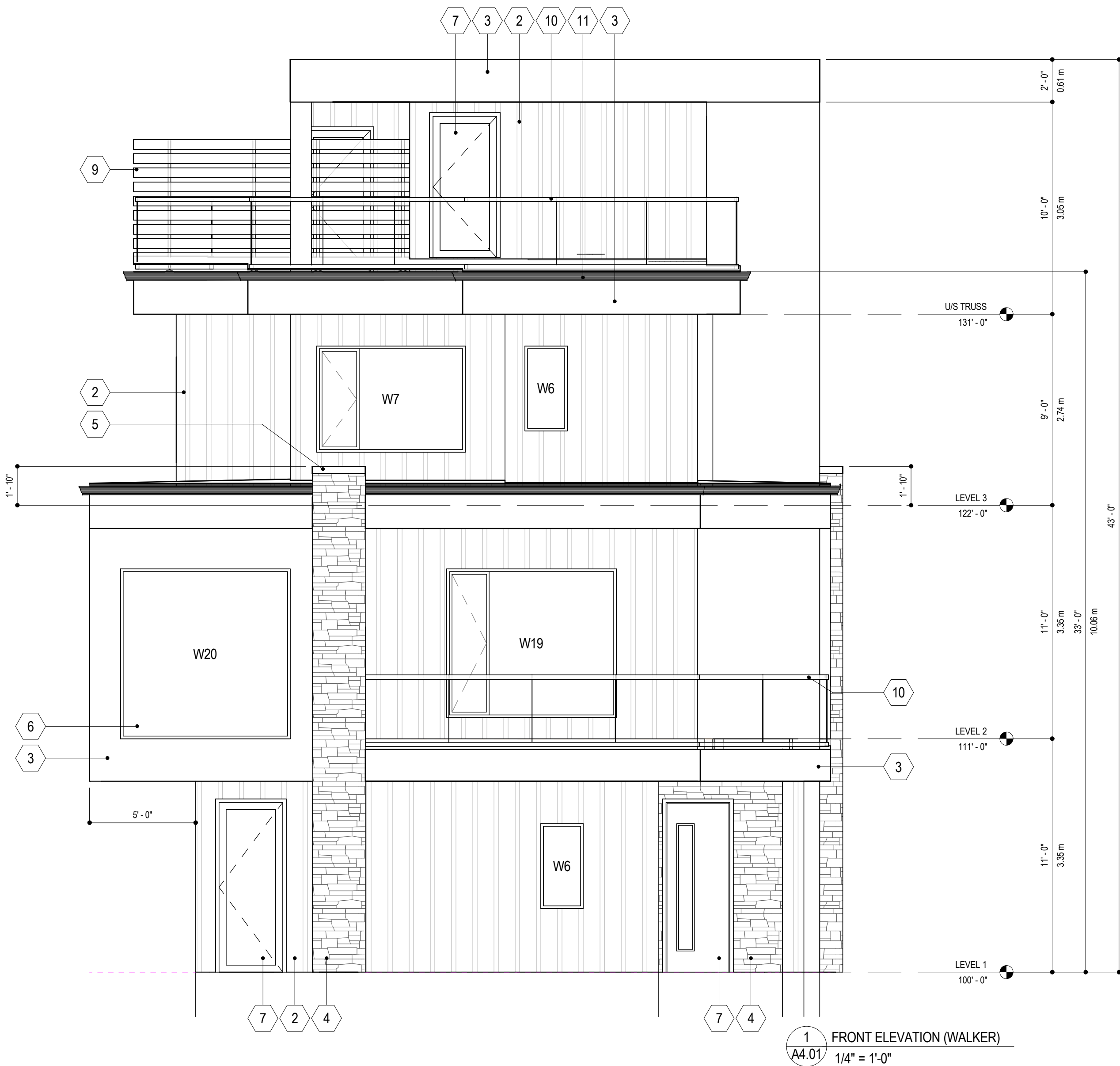
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A3.14 CENTER UNIT - L3
1/4" = 1'-0"



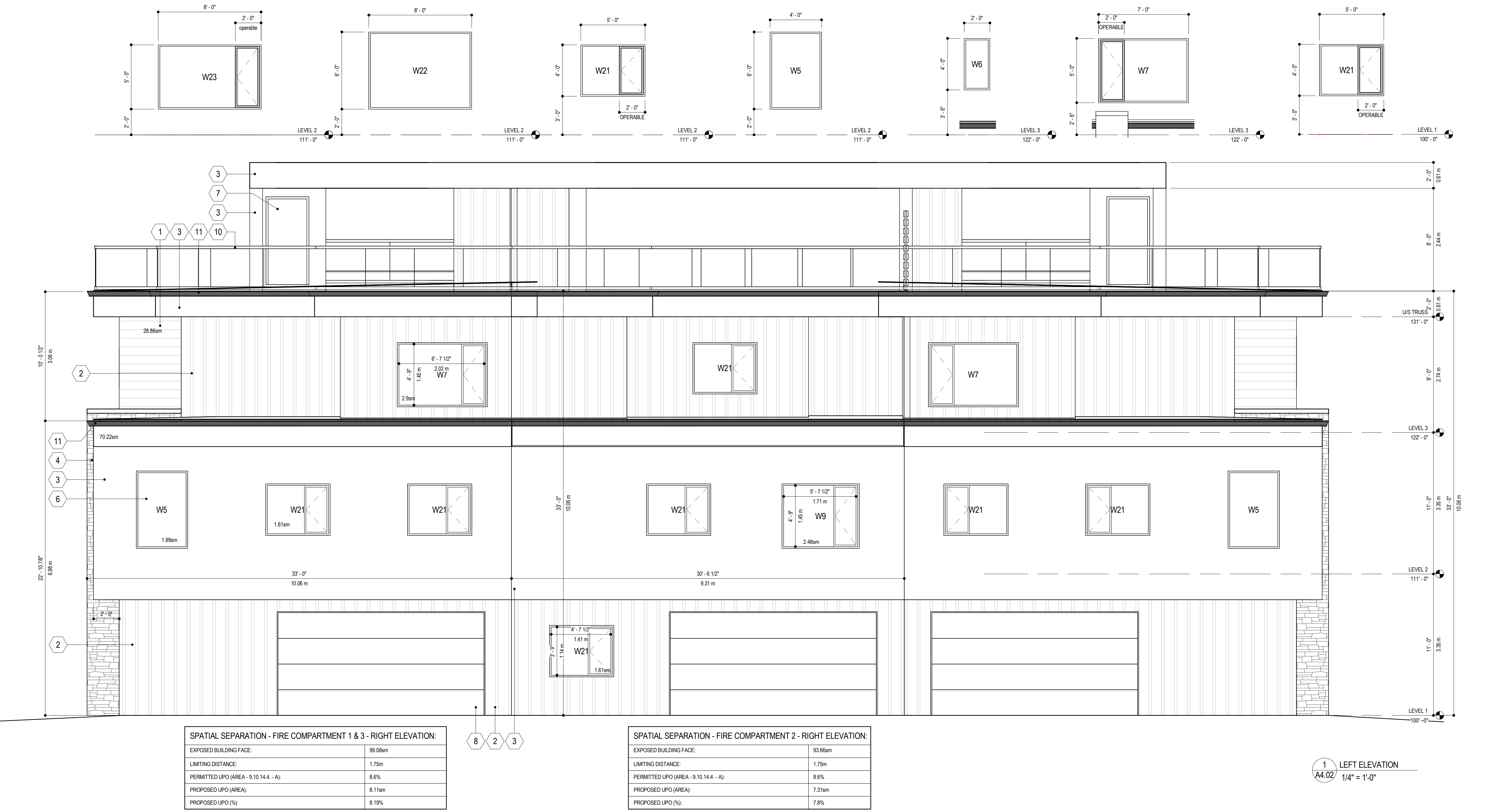
1
A3.14 CENTER UNIT - ROOF
1/4" = 1'-0"

BUILDING ELEVATION KEY NOTE:					
1	HARDIE LAP SIDING - WHITE	5	BLACK STEEL FLASHING / TRIM	8	OVERHEAD DOOR
2	HARDIE BOARD AND BATTEN - BEIGE	6	VINYL WINDOW	10	GLASS GUARD RAIL
3	HARDIE PANEL - WHITE	7	MAN DOOR	11	ALUMINUM GUTTER OR DOWNSPOUT - PAINTED BLACK
4	STONE VENEER - BEIGE	9	HARDIE PANEL BEAM / POST / FASCIA - ARCTIC WHITE	12	SLIDING GLASS DOOR

SPATIAL SEPARATION - REAR ELEVATION:	
EXPOSED BUILDING FACE:	99.43sm
LIMITING DISTANCE:	3.0m
PERMITTED UPO (AREA - 9.10.14.4. - A):	13.5%
PROPOSED UPO (AREA):	11.03sm
PROPOSED UPO (%):	11.09%



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4499 WALKER ROAD

Drawing Title

RIGHT ELEVATION &
WINDOW SCHEDULE

Drawing Number

A4.03

Job No. 18 - 1816

Scale 1/4" = 1'-0"

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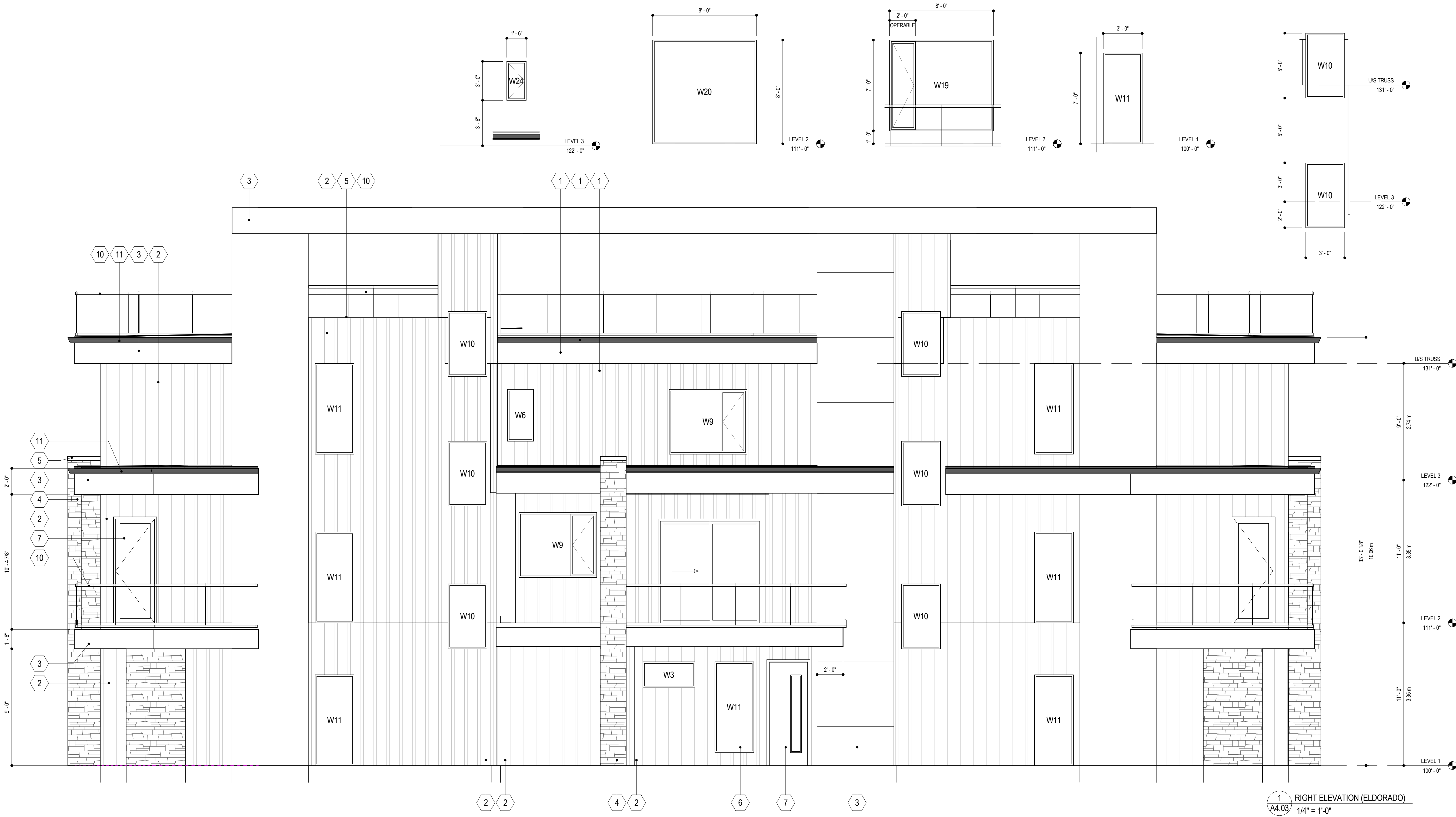




IMAGE SHOWN ABOVE IS NOT 100% ACCURATE - REFER TO 2D DRAWINGS FOR CONSTRUCTION - IMAGE IS FOR COLOUR REPRESENTATION ONLY

MATERIAL BOARD:

EXTERIOR - MAIN 1

MATERIAL: WHITE HARDIE PANEL
C/W TRIM OR LAP SIDING
LOCATION: VARIOUS EXTERIOR WALLS



EXTERIOR - MAIN 2

MATERIAL: BEIGE HARDIE LAP
SIDING OR BOARD AND BATTEN
LOCATION: VARIOUS EXTERIOR WALLS



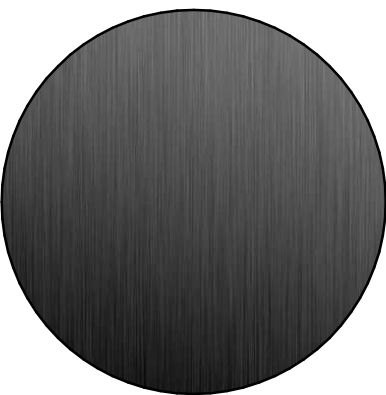
EXTERIOR - MAIN 3

MATERIAL: BEIGE STONE VENEER
LOCATION: ONLY ON STREET FACING ELEVATIONS



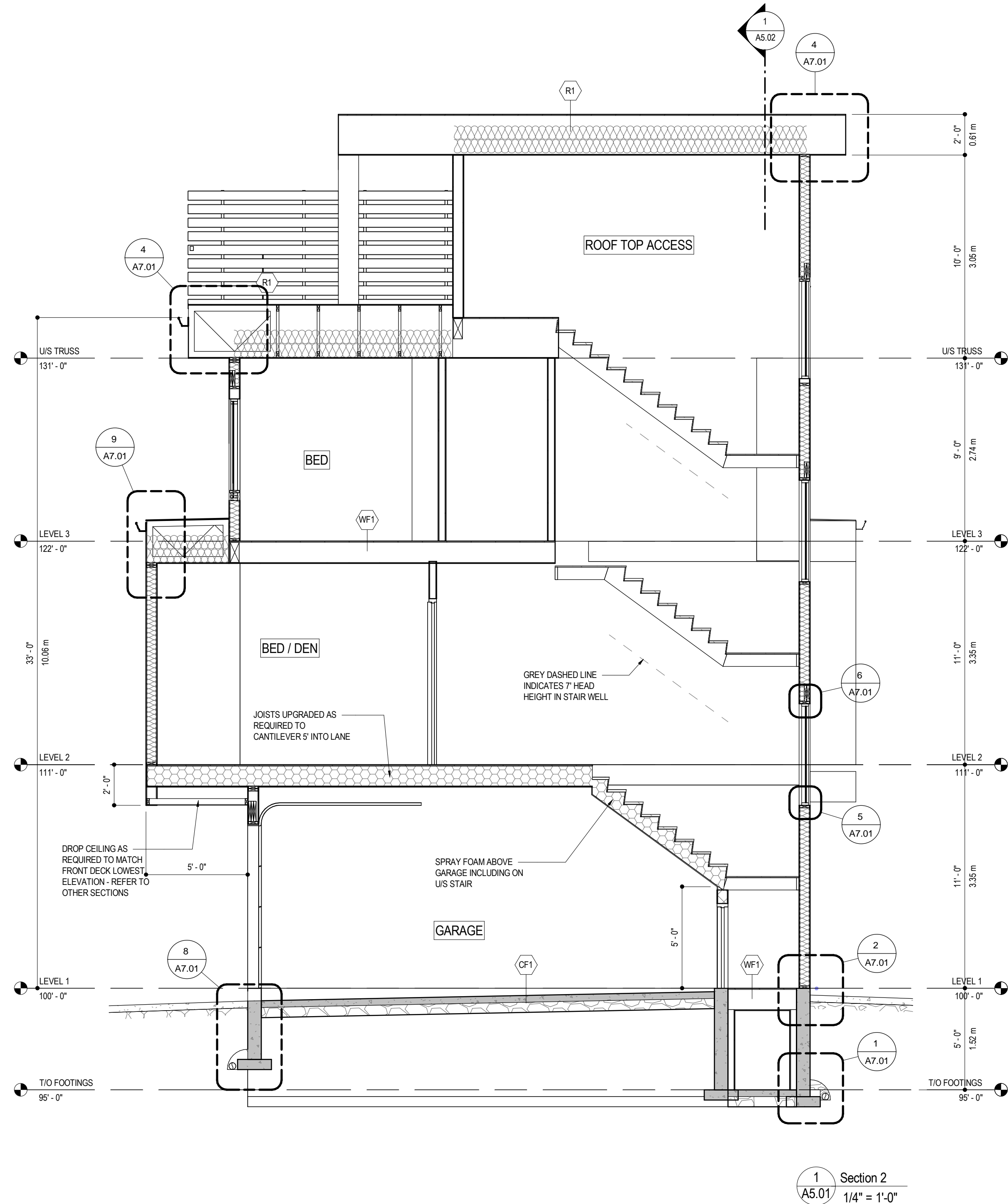
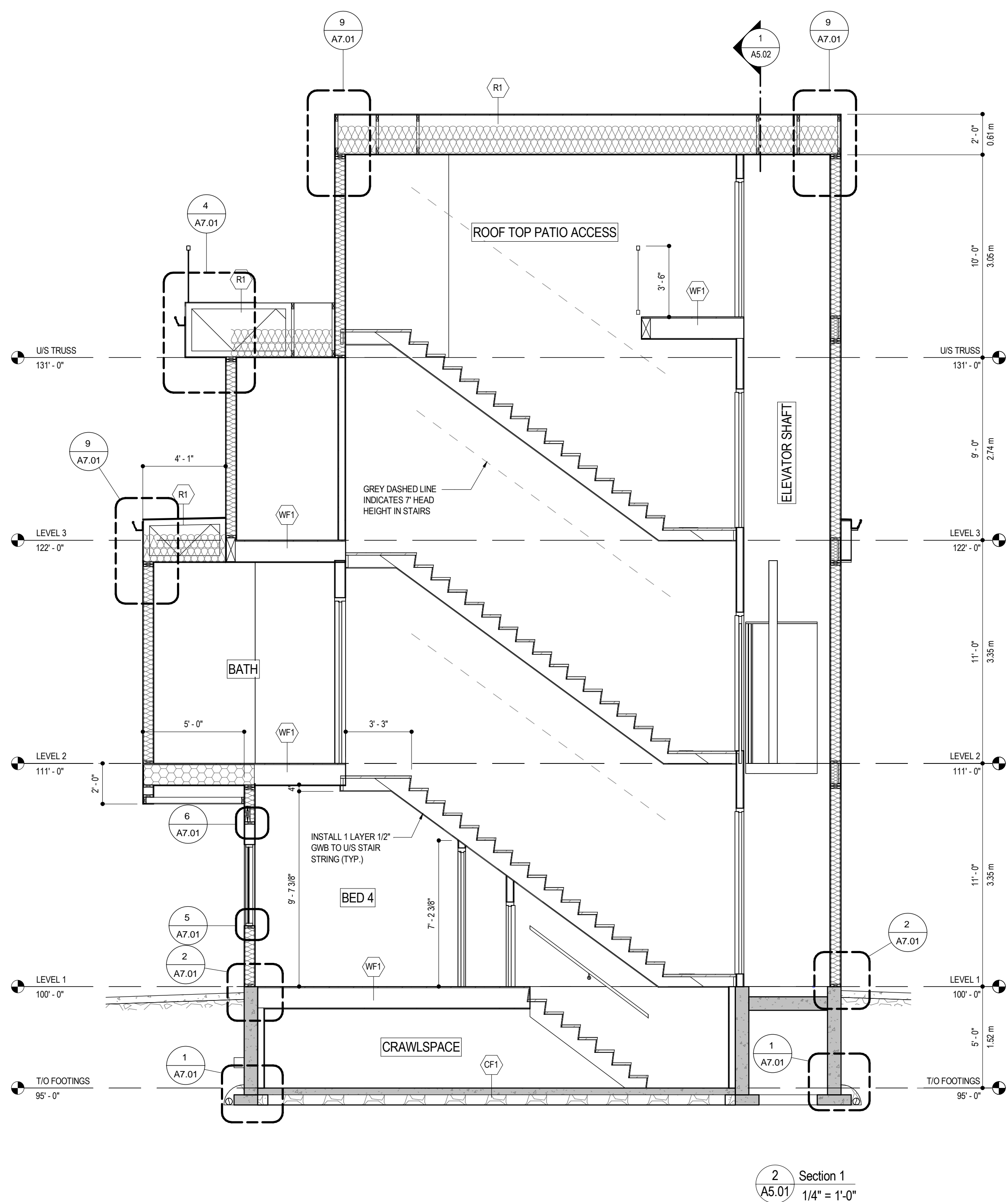
ACCENTS

MATERIAL: BLACK METAL /
ROOFING MATERIAL
LOCATION: DOORS, WINDOWS,
FLASHINGS, ROOF MEMBRANES



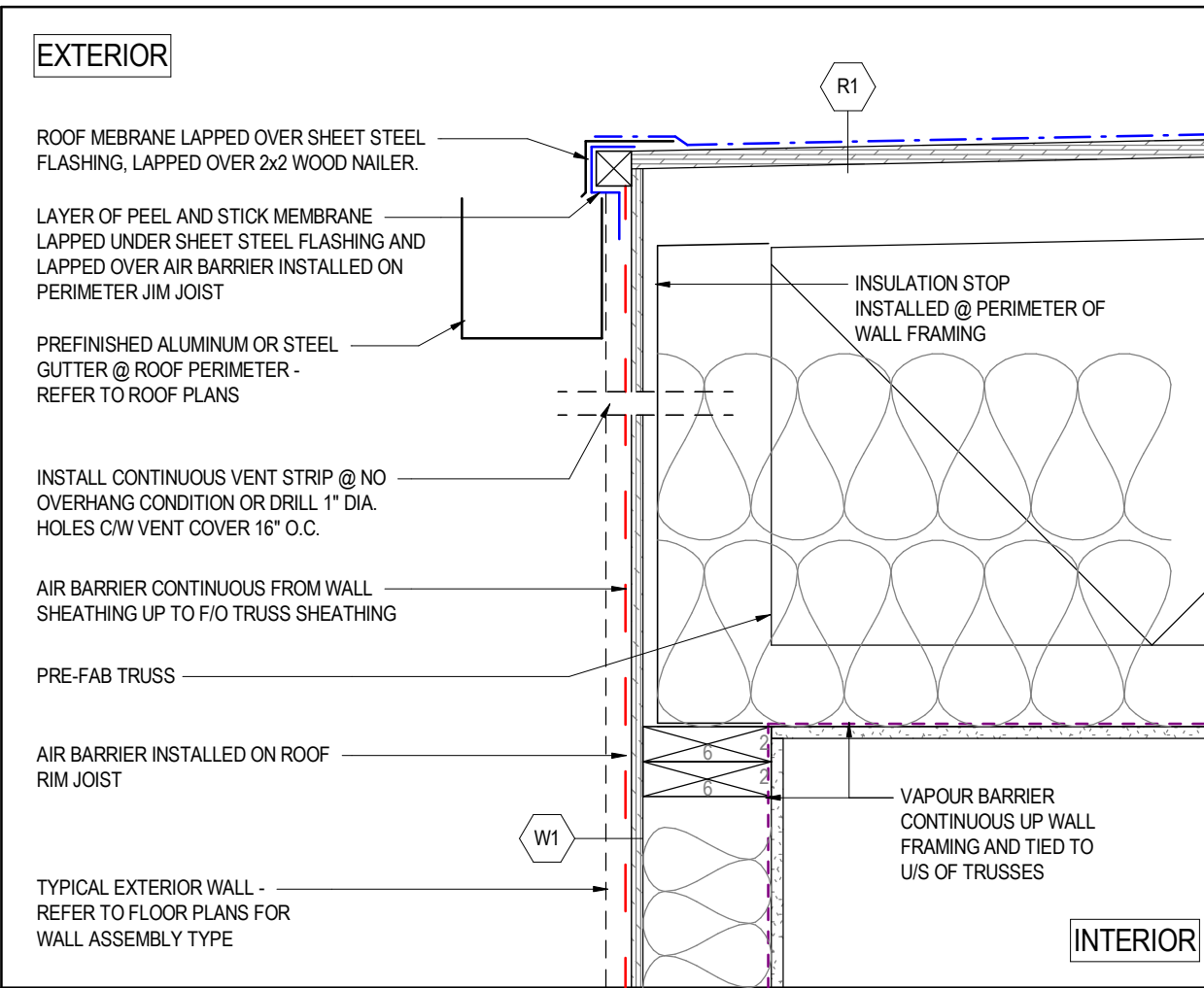
No.	Date	Revision
01	2024-09-13	ISSUED FOR DEVELOPMENT & BUILDING PERMIT

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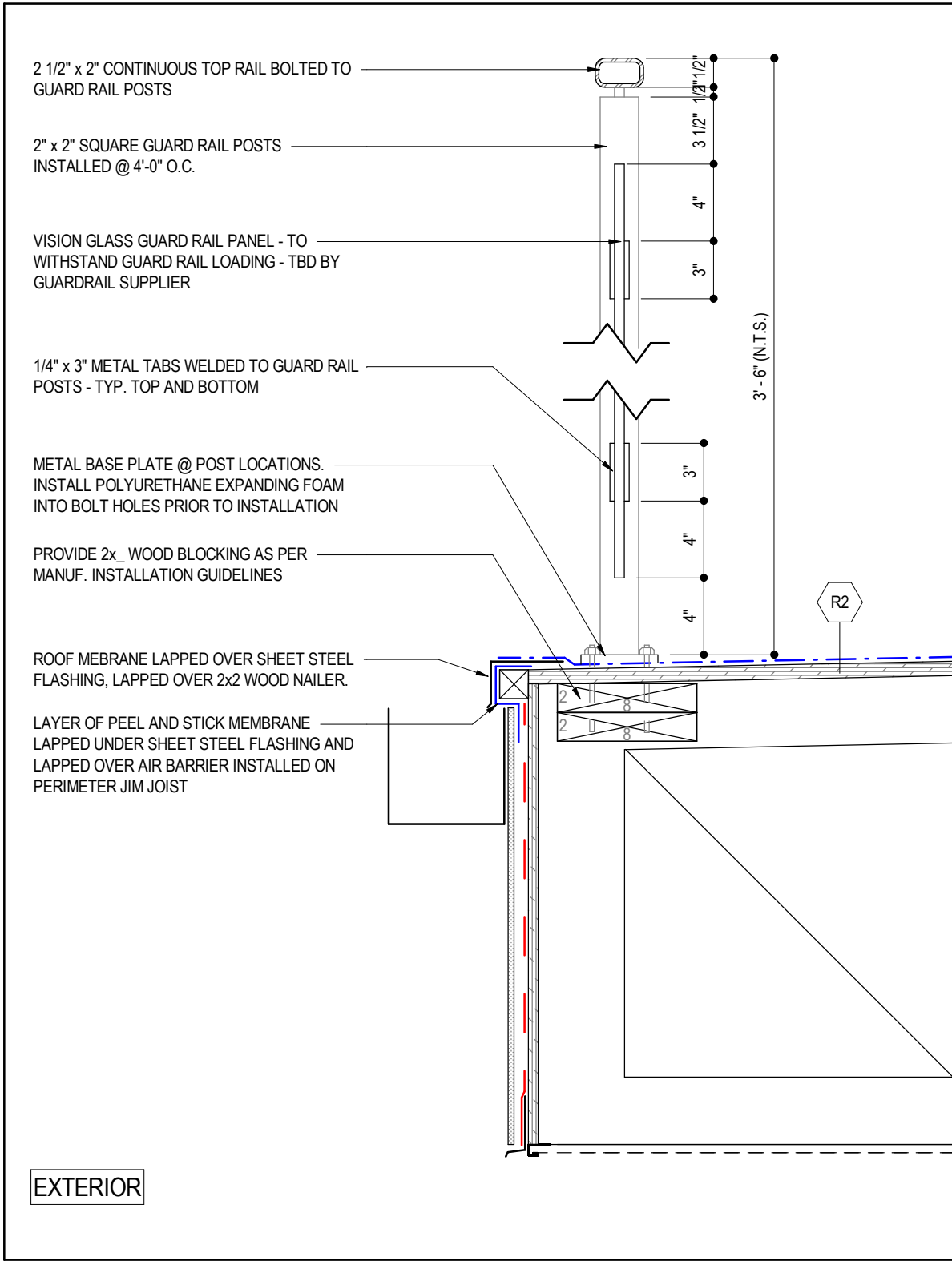


No.	Date	Revision
01	2024-09-16	ISSUED FOR DEVELOPMENT & BUILDING PERMIT

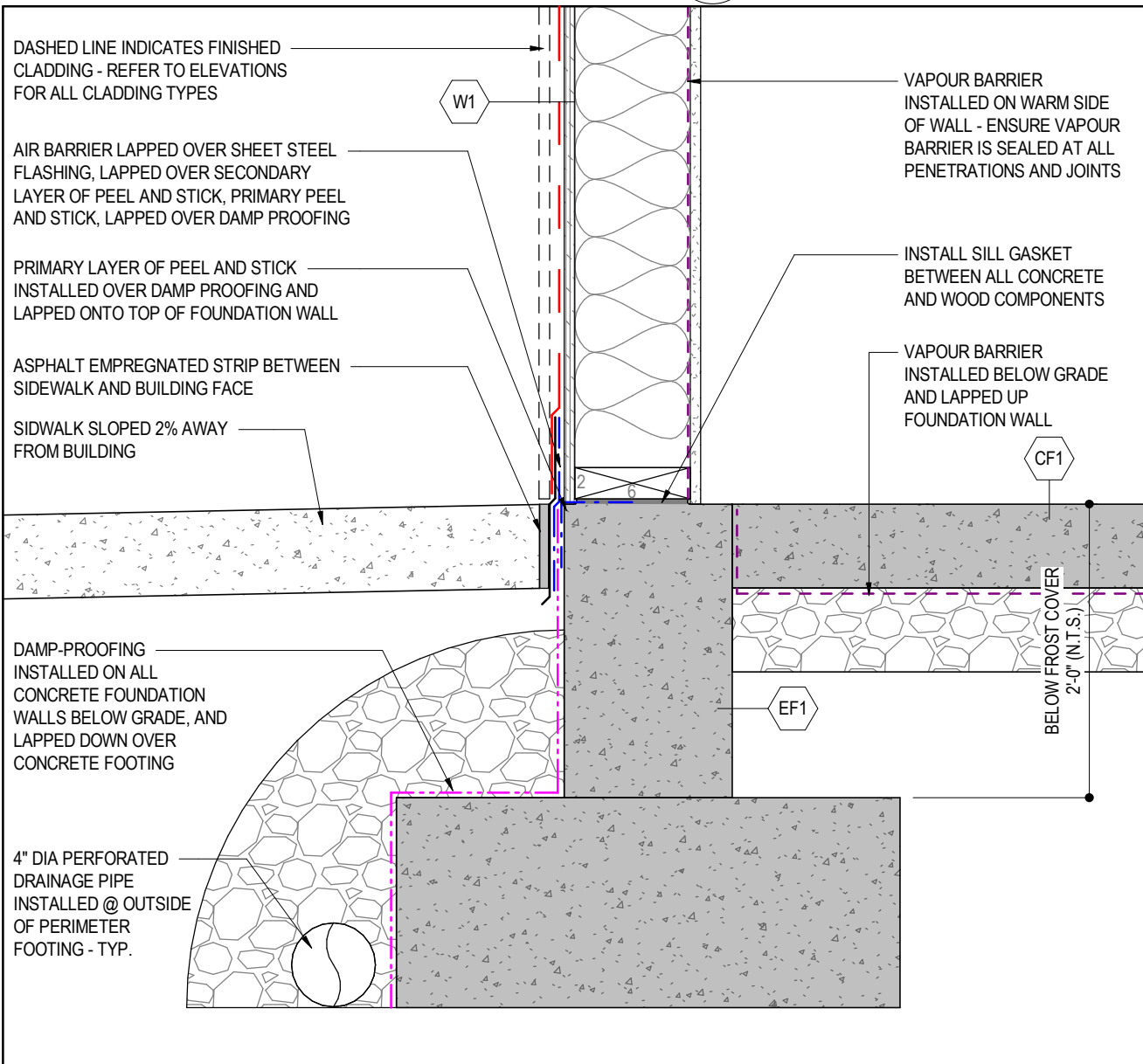




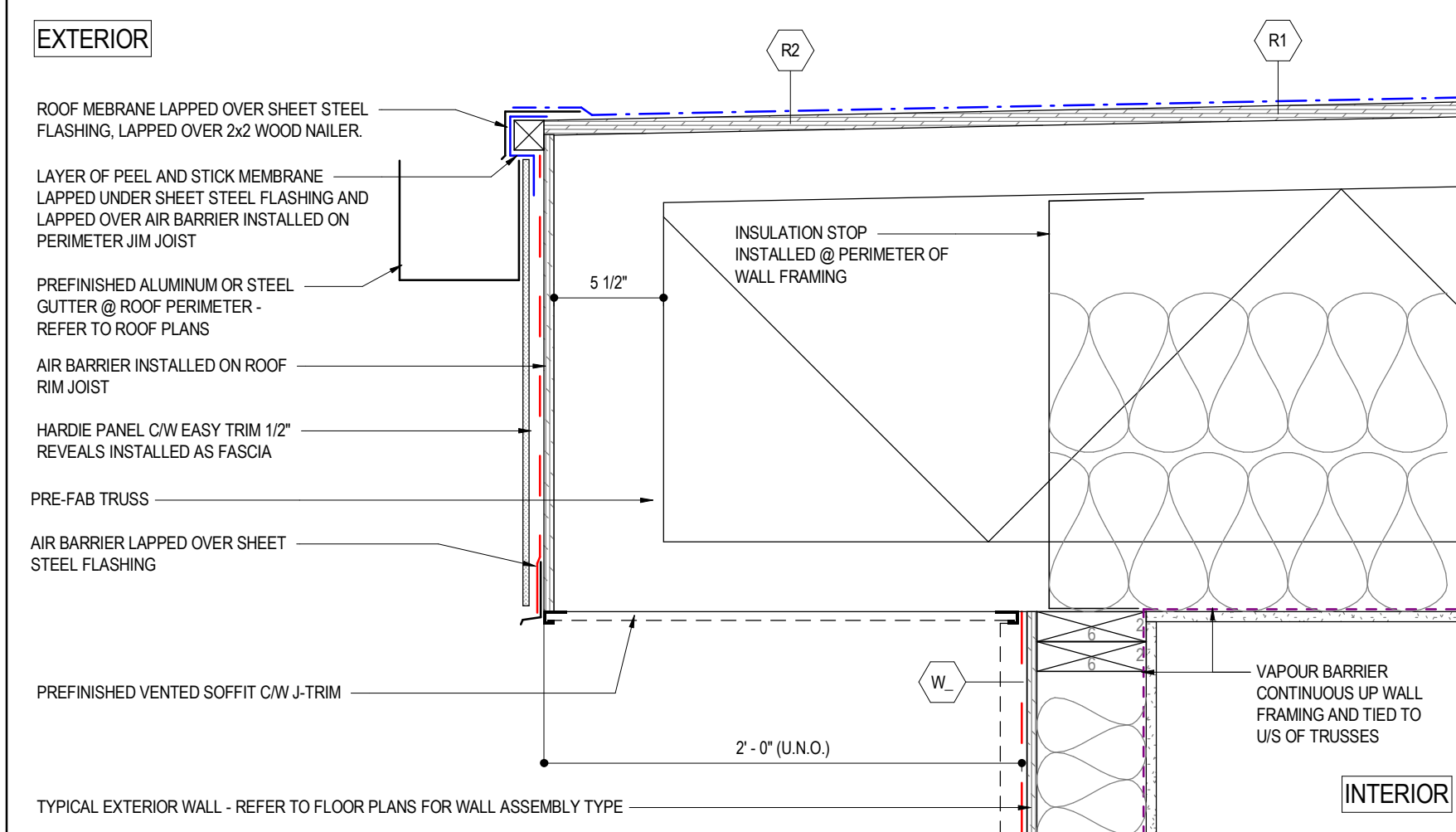
9 ZERO OVERHANG DETAIL
A7.01 1 1/2" = 1'-0"



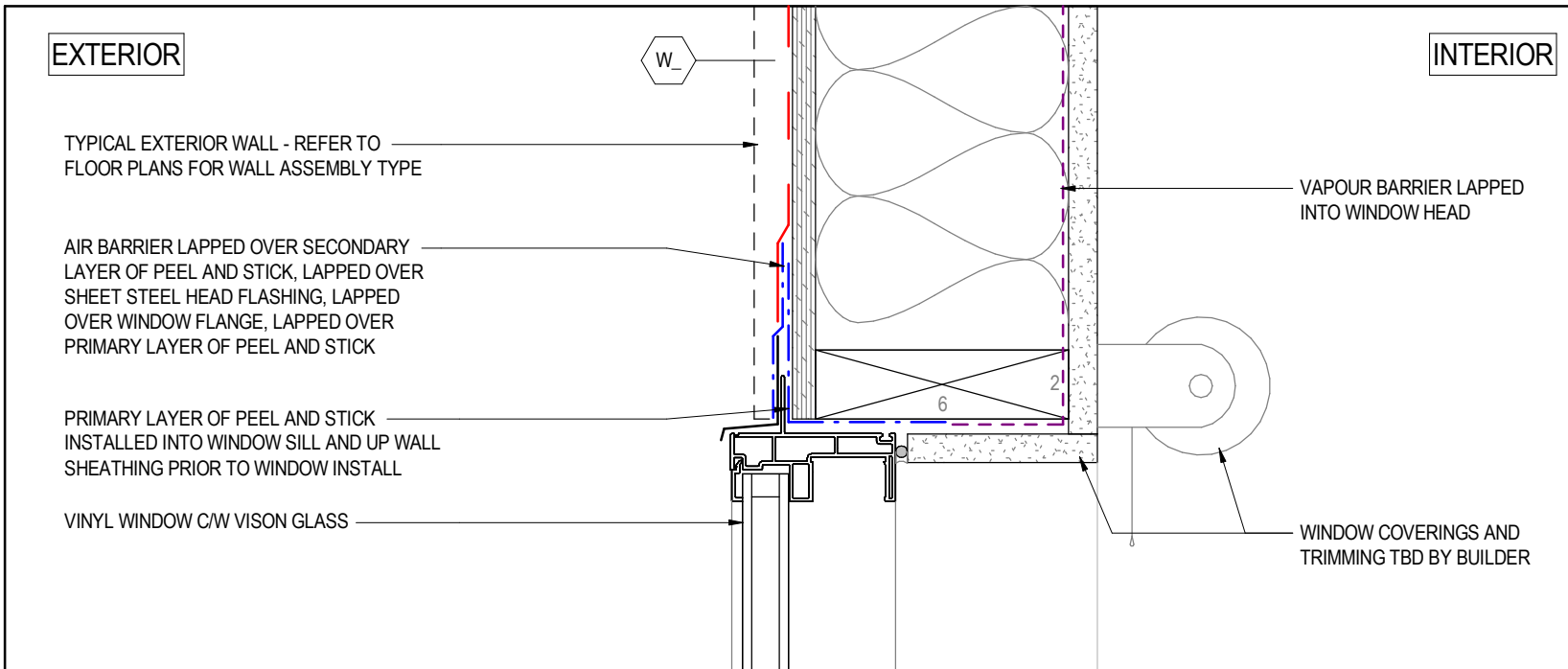
7 GUARD RAIL DETAIL
A7.01 1 1/2" = 1'-0"



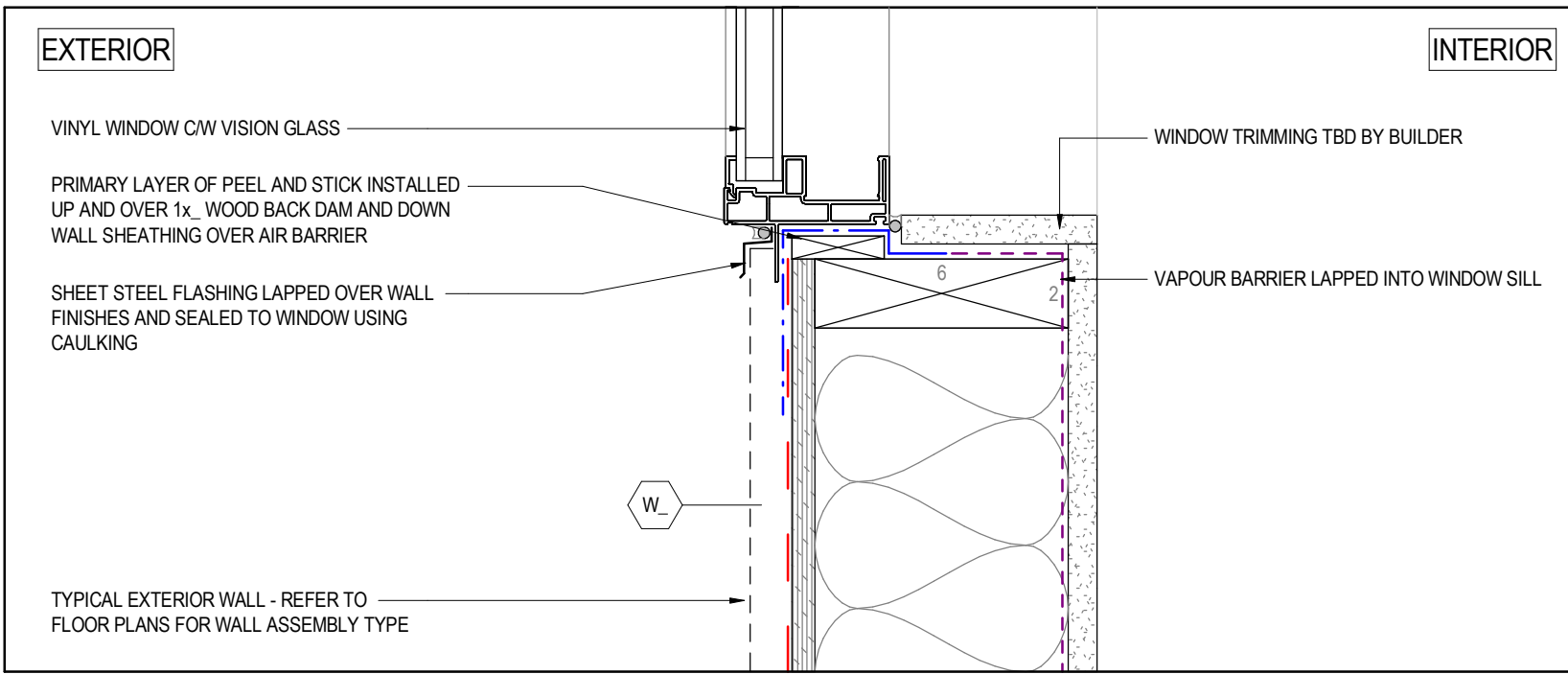
8 FOUNDATION DETAIL - BASE WOOD FRAME WALL
A7.01 1 1/2" = 1'-0"



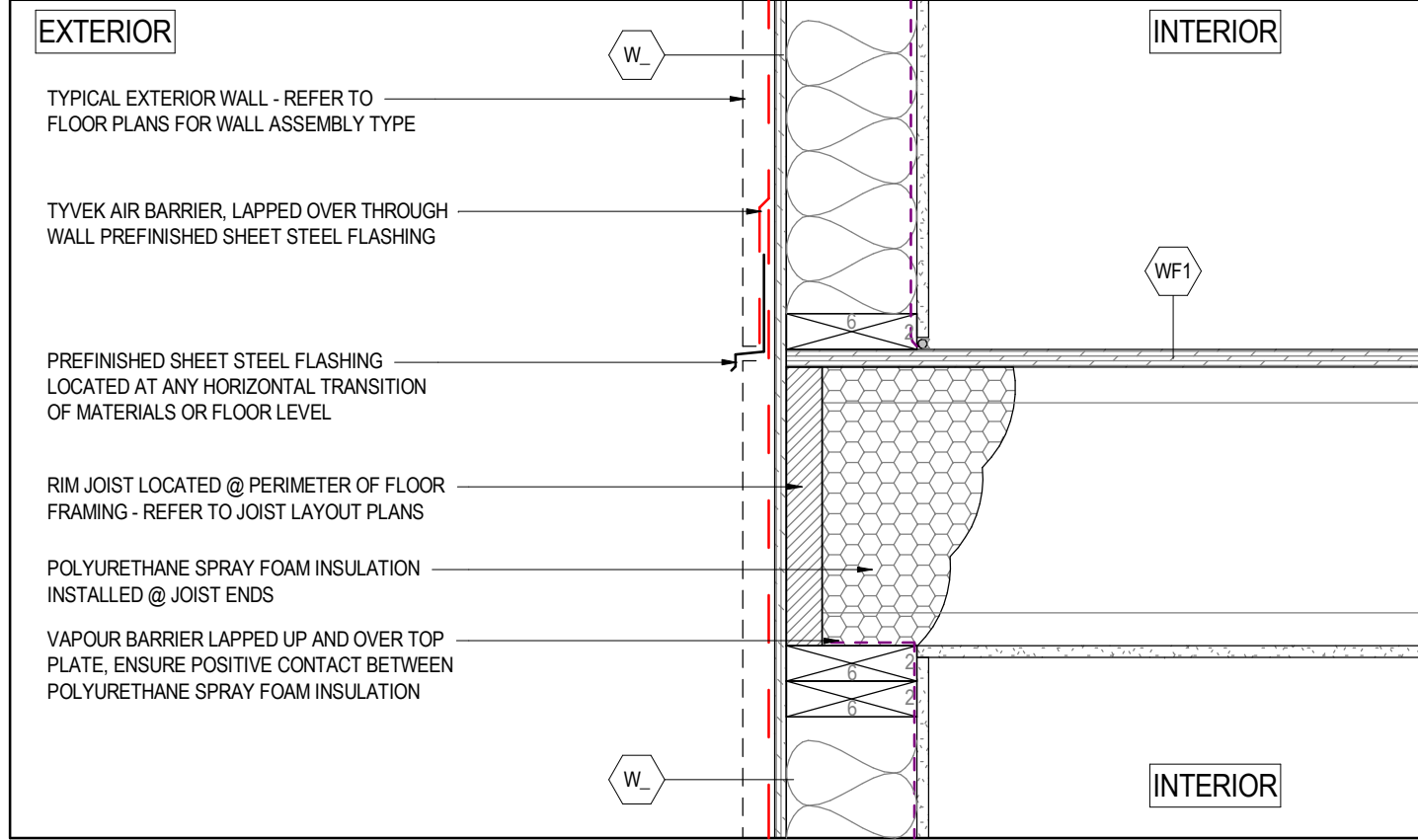
4 SOFFIT DETAIL
A7.01 1 1/2" = 1'-0"



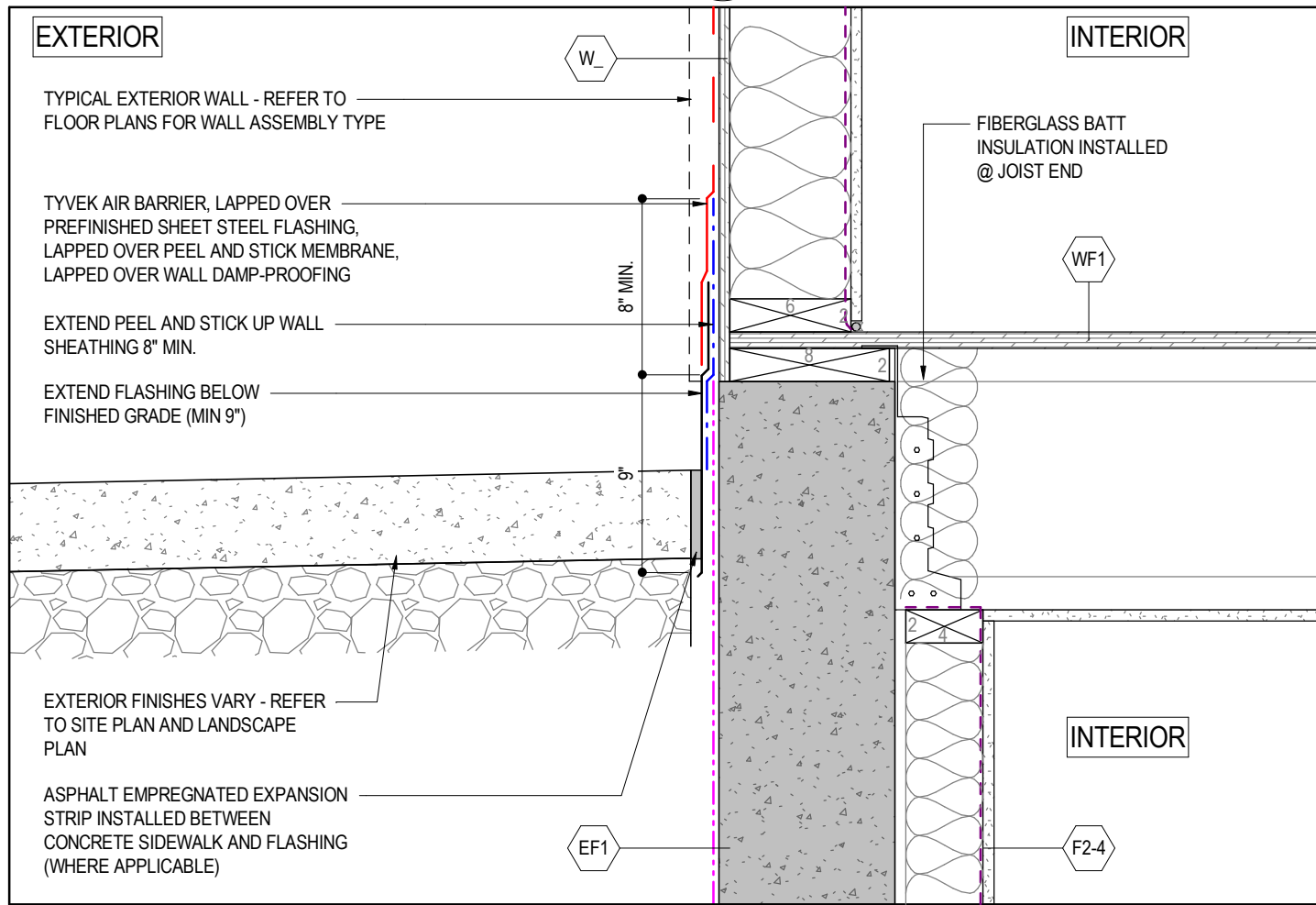
6 WINDOW HEAD
A7.01 3" = 1'-0"



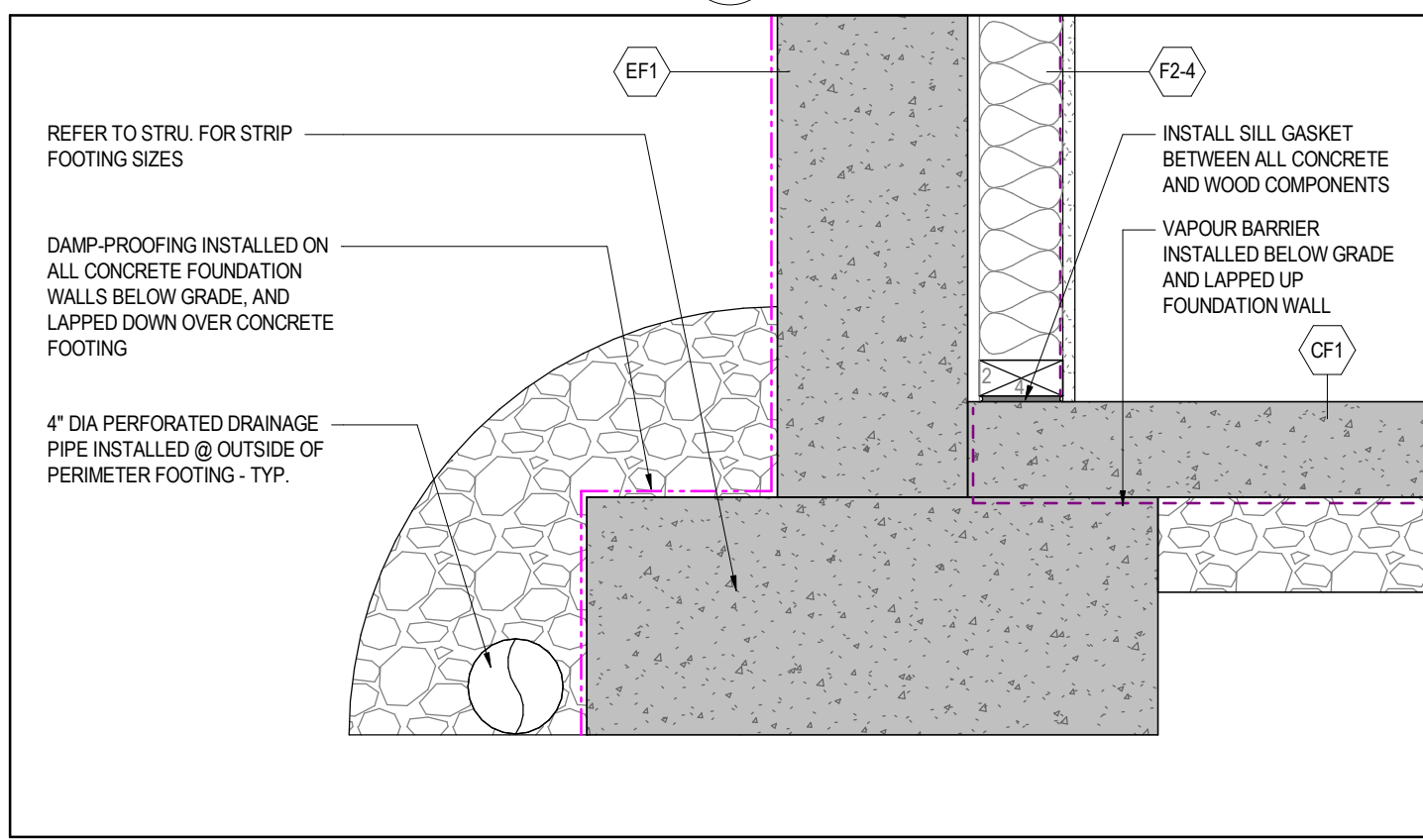
5 WINDOW SILL
A7.01 3" = 1'-0"



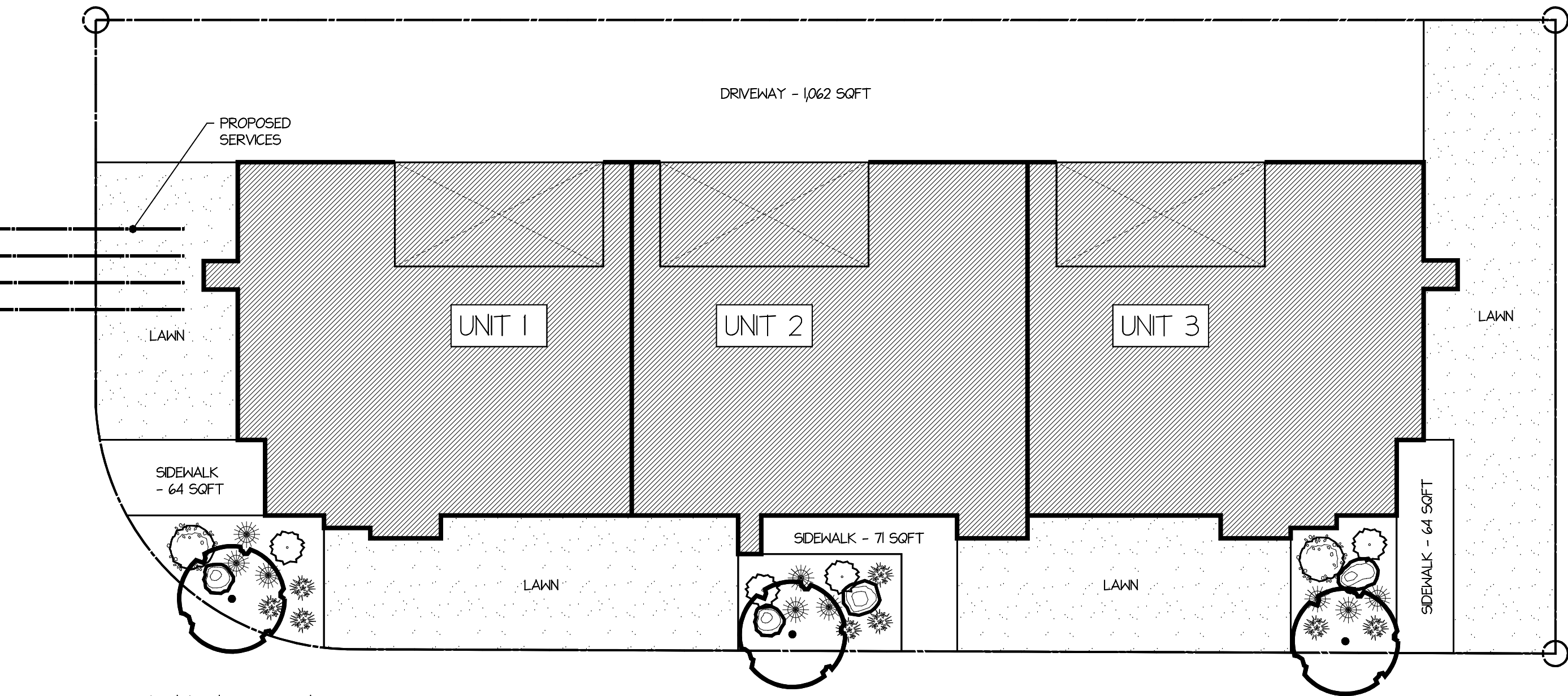
3 THROUGH WALL FLASHING DETAIL
A7.01 1 1/2" = 1'-0"



2 FOUNDATION DETAIL @ FLOOR JOIST
A7.01 1 1/2" = 1'-0"



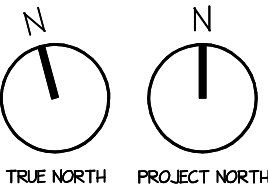
1 FOUNDATION DETAIL - BASE
A7.01 1 1/2" = 1'-0"



PLANTING SCHEDULE

QTY	KEY	COMMON NAME	BOTANICAL NAME	COMMENTS
3	CMO	HAWTHORN	Crataegus x mordenensis	Snowbird B & B - 5cm CALIPER
2	EAL	BURNING BUSH	Euonymus alatus Compactus	2 GAL
4	BER	YELLOW BARBERRY	Berberis sp.	2 GAL
8	HEM	STELLA D'ORO DAYLILY	Hemerocallis	1 GAL
9	FGL	BLUE FESCUE	Festuca glauca	1 GAL

LANDSCAPING STANDARDS 7.2	ZONE	PROPOSED
MIN. # OF TREES WITHIN LANDSCAPE AREA	1 TREE PER 10 LINEAR M OF LANDSCAPE AREA	3 TREES
MIN. GROWING MEDIUM AREA	75 PERCENT SOIL-BASED LANDSCAPING	90 PERCENT SOIL-BASED LANDSCAPING
MIN. LANDSCAPING, PARKING LOT OVER 15 VEHICLES	N	N
MIN. / MAX TREE SPACING	N	N
MIN. SETBACK FROM BUILDING ETC.	L: 3m RADIUS, M: 2m, S: 1m	L: 3m
MIN. DECIDUOUS TREE PLANTING STOCK CALIPER	L: 5cm , M: 4cm, S: 3cm	L: 5cm
MIN. CONIFEROUS TREE PLANTING STOCK HEIGHT	250cm	N/A
MIN. RATIO BETWEEN TREE SIZE	LARGE: MIN 50 PERCENT MEDIUM: NO MIN OR MAX SMALL: MAX 25 PERCENT	LARGE: 100 PERCENT MEDIUM: SMALL:
MIN. GROWING MEDIUM VOLUMES PER TREE	SEE TABLE 7.2 ZONING BYLAW	Y
FENCE HEIGHT		N
RIPAIAAN MANAGEMENT AREA		N
RETENTION OF EXISTING TREES ON SITE?		N
REFUSE & RECYCLE BINS AS PER SECTION 7.3		N IN GARAGE AS PER SITE PLAN



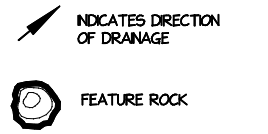
DESIGNER DETAILS:

A FULLY AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED AS PER IABC STANDARDS

ALL PLANTING AREAS TO HAVE OGOGROW MULCH GROUND COVER OR LANDSCAPE FABRIC WITH ROCK

LIGHTING PLACEMENT AND MANUFACTURER TO BE DETERMINED BY CONTRACTOR AND HOMEOWNER DURING CONSTRUCTION

REV: 1 - DESIGN SUBMISSION



SCALE: 1 : 100
PAPER SIZE: 11" X 17"

DATE: SEPTEMBER 2024

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